

SITE IMPROVEMENT PLANS

FOR

VIVO HOTEL CONVERSION

LOCATED AT

4903 MARKET STREET
WILMINGTON, NC 28405
PARCEL ID #R04915-001-008-000

RECEIVED
By Jeff Walton at 11:07 am, Mar 21, 2022

PROJECT TEAM

OWNER
HOTEL PLUS LLC
WILMINGTON, NC 28405

CIVIL ENGINEER
MELIBE THOMAS, P.E.
KIMLEY-HORN AND ASSOCIATES, INC.
200 SOUTH TRYON STREET, SUITE 200
CHARLOTTE, NC 28202
(772) 794-4114

CLIENT REPRESENTATIVE
GENE GOLDSTEIN
BRAMIC DESIGN GROUP, PLLC
9516 E. VENTASO CIRCLE
TUCSON, AZ 85715

LANDSCAPE ARCHITECT
LAURA HANDLETON, PLA
KIMLEY-HORN AND ASSOCIATES, INC.
200 SOUTH TRYON STREET, SUITE 200
CHARLOTTE, NC 28202
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DEVELOPMENT CONSULTANT
TAREK SHAER
URBANEST GROUP
310-508-7354

SURVEYOR
ERNEST C. DRAKE
AEI CONSULTANTS
1109 CRANBROOK DRIVE
ARDEN, NC 28704
828-674-0008

DEVELOPER
BRETT TANIMOTO
VIVO INVESTMENT GROUP
949-735-1450

ARCHITECT
L. MARK LOUDERMILK, AIA
MARK LOUDERMILK ARCHITECTURE, PLLC
910-622-0765

LIST OF CONTACTS

STORMWATER
CITY OF WILMINGTON
245 OPERATIONS CENTER DRIVE
WILMINGTON, NC 28412
(910)341-4646

PLANNING AND ZONING
CITY OF WILMINGTON
PLANNING DEPARTMENT
102 NORTH THIRD STREET
WILMINGTON, NC 28402
(910)254-0900

WATER
CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
(910)332-6352

ENGINEERING
CITY OF WILMINGTON
ENGINEERING DEPARTMENT
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WILMINGTON, NC 28401
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SANITARY SEWER
CAPE FEAR PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
(910)332-6352

BUILDING DIVISION
CITY OF WILMINGTON
102 NORTH THIRD STREET
WILMINGTON, NC 28402
(910)254-0900

NCDOT
DISTRICT 3
KRISTA KIMMEL, P.E.
5501 BARBADOS BLVD
CASTLE HAYNE, NC 28429
910-341-2000

FIRE MARSHALL'S OFFICE
CITY OF WILMINGTON
230 GOVERNMENT CENTER
WILMINGTON, NC 28403
(910)343-0696



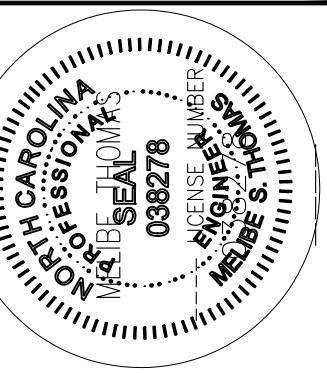
PROJECT LOCATION

VICINITY
N.T.S.

Sheet List Table

Sheet Number	Sheet Title
C-000	COVER SHEET
C-001	SURVEY
C-002	DEMOLITION AND EROSION CONTROL PLAN
C-003	DEMOLITION AND EROSION CONTROL DETAILS
C-100	SITE PLAN
C-101	SITE PLAN DETAILS
C-102	TRUCK TURN ANALYSIS
C-200	UTILITY PLAN
C-201	UTILITY DETAILS
C-300	PAVING, GRADING, AND DRAINAGE PLAN
C-301	PAVING, GRADING, AND DRAINAGE DETAILS
C-302	PAVING, GRADING, AND DRAINAGE DETAILS
L-050	EXISTING LANDSCAPE PLAN
L-100	LANDSCAPE PLAN
L-101	LANDSCAPE NOTES AND DETAILS

Kimley»Horn
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200 SOUTH TRYON STREET, CHARLOTTE, NC 28202
PHONE: 704-333-5131 FAX: 704-409-1810
WWW.KIMLEY-HORN.COM

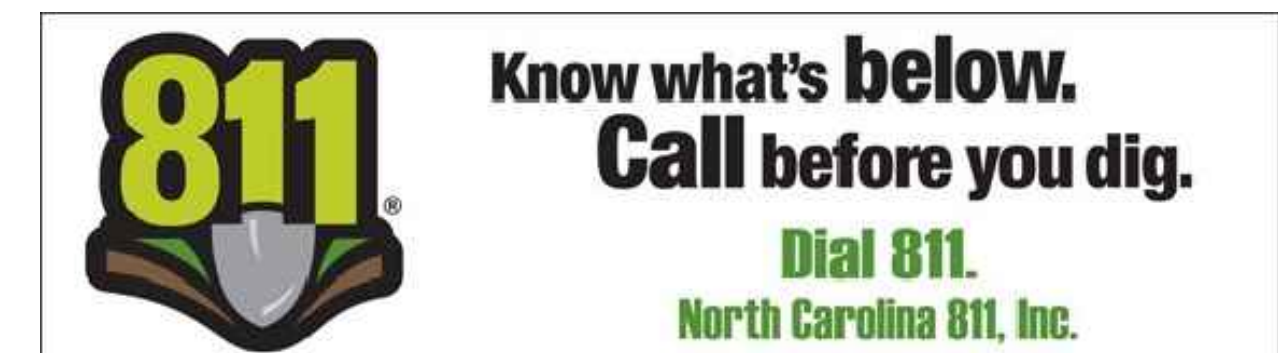


KHA PROJECT
147844001
DATE
12/15/2021
SCALE AS SHOWN
DESIGNED BY SRS
DRAWN BY SRS
CHECKED BY MST

COVER SHEET

VIVO HOTEL CONVERSION
WILMINGTON
PREPARED FOR
VIVO INVESTMENT GROUP
4903 MARKET STREET WILMINGTON, NC

SHEET NUMBER
C-000



Plotted By: Spraker, Spencer. Sheet: VIVO HOTEL CONVERSION. WILMINGTON. Layout: C-000 COVER SHEET. March 17, 2022. 03:18:19pm. K:\WEB-LD\EX\147844001 - VIVO Wilmington Hotel Conversion\CADD\PlanSheets\C-000 COVER SHEET.dwg. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

SURVEYOR'S CERTIFICATION

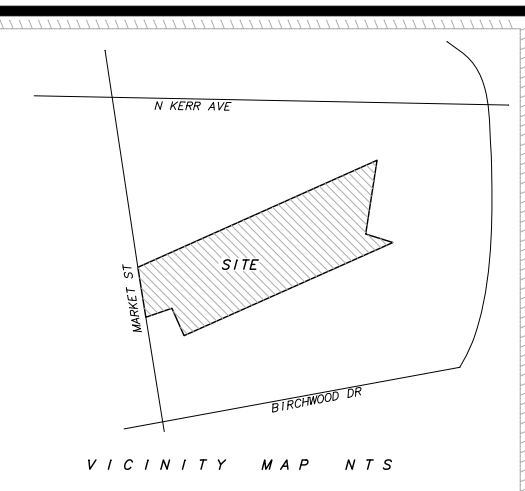
1. Phillip W. Riley, certifies that this project was completed under my direct and responsible charge from an actual survey made under my supervision; that this ground survey was performed at the 95 percent confidence level (2 sigma) to meet Federal Geographic Data Committee Standards; that the horizontal accuracy is 1/10,000; that the vertical accuracy is 1/10,000 and that the original vertical data was obtained on February 14-15, 2022; that the survey was completed on February 21, 2022; that contours shown meet the stated standards; all elevations are NAVD'83 based on GPS Observations as noted below.

THE SURVEY COORDINATES NOTED WERE DERIVED FROM GPS OBSERVATIONS BASED ON THE FOLLOWING:

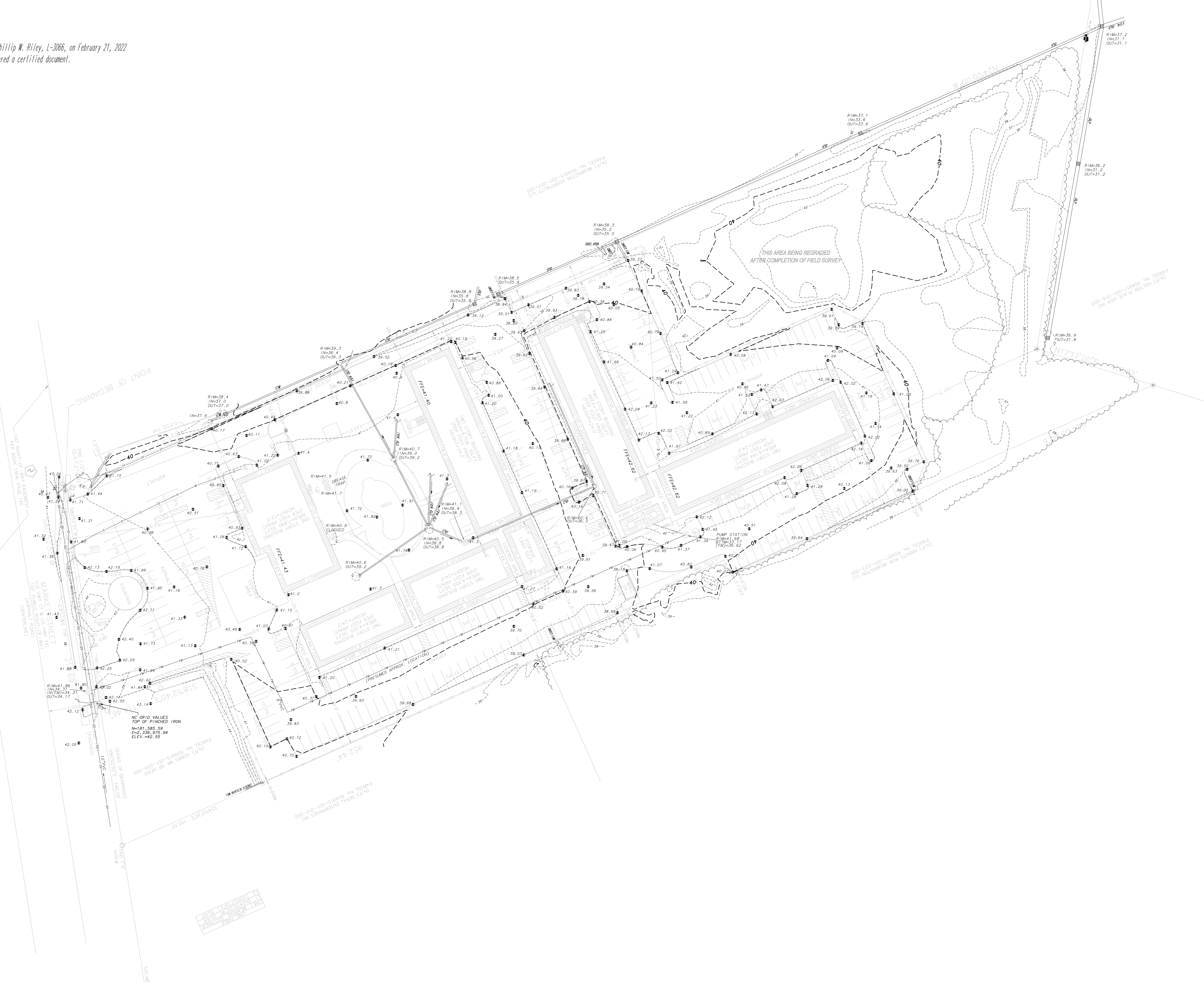
- 1) CLASS OF SURVEY: CLASSIFICATION RESOLUTION: 0.007 FT (M) @ 0.333 FTEV
- 2) POSITIONAL ACCURACY: REAL TIME KINEMATIC (RTK)
- 3) TYPE OF FIELD SURVEY: REAL TIME KINEMATIC VIA NCRVS
- 4) DATE OF SURVEY: February 14-15, 2022
- 5) DATUM/EPOCH: NAD 83 (2011)/2010.00
- 6) FULLY IDENTIFIED CONTROL USED: NONE
- 7) GRID MODEL: G12B (NAVD 83)
- 8) COMBINED GRID FACTOR: 1.0000016
- 9) UNITS: US SURVEY FOOT
- 10) GPS INSTRUMENTATION: TRIMBLE R8

This document originally issued and sealed by Phillip W. Riley, L-3066, on February 21, 2022
This medium shall not be considered a certified document.

BASED ON SURVEY BY STREET SHOWN (DATED)
AS PROVIDED BY CLIENT



REVISIONS	BY
1/2/2022 ELEVATIONS ADDED	PWR
3/2/2022 ELEVATIONS ADDED	PWR
4/1/2022	



TOPOGRAPHIC SURVEY

RILEY SURVEYING, P.A.
3208 DURHAM CHAPEL HILL BLVD. STE B-100
919-867-0742 C-1281 phil@rileyandparr.com

PROPERTY OWNERS IN THE NAME OF
VIVO LIVING WILMINGTON, LLC
RESIDENTS FOR
KIMLEY-HORN, INC.
WILMINGTON TOWNSHIP, NEW HANOVER COUNTY
NORTH CAROLINA

- NOTES**
1. THIS IS NOT A BOUNDARY SURVEY.
 2. NO PORTION OF THE SUBJECT PROPERTY LIES IN A DESIGNATED FLOOD HAZARD ZONE. SEE FEMA FIRM PANEL 37031300N DATED 6/26/2018.
 3. HORIZONTAL GROUND DISTANCES SHOWN.
 4. CONTRACTORS TO FIELD VERIFY ALL UNDERGROUND UTILITIES PRIOR TO ANY CONSTRUCTION. PARTIAL UNDERGROUND UTILITIES WERE FIELD MARKED BY R11 FOR THIS SURVEY BUT THERE ARE UNDERGROUND UTILITIES ON AND AROUND THE SUBJECT PROPERTY BEYOND THOSE SHOWN HEREON.
 5. RATIO OF PRECISION: 1:10,000
 6. ALL PROPERTY LINES AND IMPROVEMENTS SHOWN IN HALFTONE BASED ON DIGITAL FILES PROVIDED BY CLIENT.

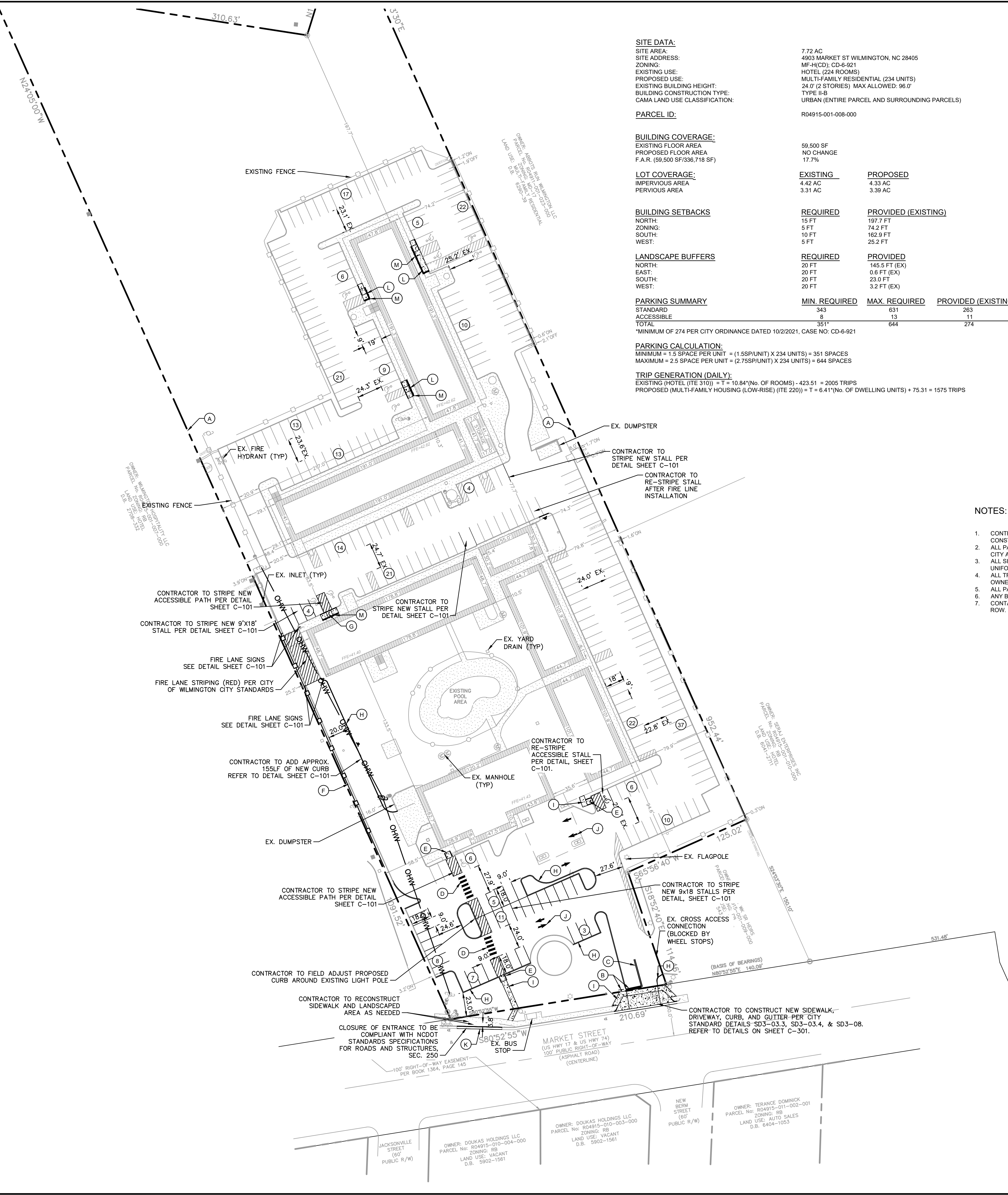
LEGEND

	WATER VALVE
	CATCH BASIN
	END OF PIPE NOT FOUND OR NOT SURVEYED - PIPE DIRECTION ARROW
	UNDERGROUND GAS LINE
	UNDERGROUND FIBER OPTIC LINE(S)
	SANITARY SEWER LATERAL
	SANITARY SEWER PIPE
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE LINE(S)
	TREE (NOT MATURE)



DATE: FEBRUARY 21, 2022
SCALE: 1" = 40'
DRAWN BY: PWR
JOB: 2201
SHEET: 1
OF 1 SHEETS

Plotted By: Sparker, Spencer - Sheet: VVO HOTEL CONVERSION, WILMINGTON, Layout: C-100 SITE PLAN, March 17, 2022, 03:19:42pm, K:\VVO\DEVA\147844001 - VVO Wilmington Hotel Conversion\CADD\PlanSheets\C-100 SITE IMPROVEMENTS PLAN.dwg
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SITE DATA:
 SITE AREA: 7.72 AC
 SITE ADDRESS: 4903 MARKET ST WILMINGTON, NC 28405
 ZONING: MF-H(CD); CD-6-921
 EXISTING USE: HOTEL (224 ROOMS)
 PROPOSED USE: MULTI-FAMILY RESIDENTIAL (234 UNITS)
 EXISTING BUILDING HEIGHT: 24.0' (2 STORIES) MAX ALLOWED: 96.0'
 BUILDING CONSTRUCTION TYPE: TYPE I-B
 CAMA LAND USE CLASSIFICATION: URBAN (ENTIRE PARCEL AND SURROUNDING PARCELS)

PARCEL ID: R04915-001-008-000

BUILDING COVERAGE:
 EXISTING FLOOR AREA: 59,500 SF
 PROPOSED FLOOR AREA: NO CHANGE
 F.A.R. (59,500 SF/336,718 SF): 17.7%

LOT COVERAGE:
 IMPERVIOUS AREA: EXISTING 4.42 AC, PROPOSED 4.33 AC
 PERVIOUS AREA: EXISTING 3.31 AC, PROPOSED 3.39 AC

BUILDING SETBACKS:

	REQUIRED	PROVIDED (EXISTING)
NORTH:	15 FT	197.7 FT
ZONING:	5 FT	74.2 FT
SOUTH:	10 FT	162.9 FT
WEST:	5 FT	25.2 FT

LANDSCAPE BUFFERS:

	REQUIRED	PROVIDED
NORTH:	20 FT	145.5 FT (EX)
EAST:	20 FT	0.6 FT (EX)
SOUTH:	20 FT	23.0 FT
WEST:	20 FT	3.2 FT (EX)

PARKING SUMMARY:

	MIN. REQUIRED	MAX. REQUIRED	PROVIDED (EXISTING)	PROPOSED
STANDARD:	343	631	263	263
ACCESSIBLE:	8	13	11	11
TOTAL:	351*	644	274	274

*MINIMUM OF 274 PER CITY ORDINANCE DATED 10/2/2021, CASE NO: CD-6-921

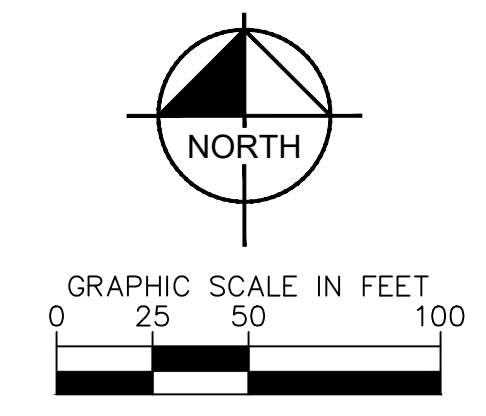
PARKING CALCULATION:
 MINIMUM = 1.5 SPACE PER UNIT = (1.5SPP/UNIT) X 234 UNITS = 351 SPACES
 MAXIMUM = 2.5 SPACE PER UNIT = (2.75SPP/UNIT) X 234 UNITS = 644 SPACES

TRIP GENERATION (DAILY):
 EXISTING (HOTEL (ITE 310)) = T = 10.84*(No. OF ROOMS) = 423.51 = 2005 TRIPS
 PROPOSED (MULTI-FAMILY HOUSING (LOW-RISE) (ITE 220)) = T = 6.41*(No. OF DWELLING UNITS) + 75.31 = 1575 TRIPS

- LEGEND**
- (A) PROPERTY LINE
 - (B) 24" PAINTED STOP BAR AND STOP SIGN
 - (C) 25 LF DOUBLE 6" YELLOW STRIPING
 - (D) CROSSWALK PER NCDOT INDEX 1205.07
 - (E) CURB RAMP PER CITY STANDARD DETAIL SD3-08 (REFER TO DETAIL, SHEET C-301)
 - (F) 6FT WOOD SLAT FENCE (TO MATCH EXISTING)
 - (G) NCDOT TYPE 2 CURB RAMP
 - (H) VERTICAL CURB PER CITY STANDARD DETAIL SD3-11 (REFER TO DETAIL, SHEET C-301)
 - (I) 5' CONCRETE SIDEWALK PER CITY STANDARD DETAIL SD3-10 (REFER TO DETAIL, SHEET C-101)
 - (J) DIRECTIONAL ARROW (TYP.) (REFER TO DETAIL SD11-03, SHEET C-101)
 - (K) VERTICAL CURB AND GUTTER PER CITY STANDARD DETAIL SD3-11 (REFER TO DETAIL, SHEET C-301)
 - (L) ACCESSIBLE RAMP (REFER TO DETAIL, SHEET C-302)
 - (M) ADA HANDRAILS (REFER TO DETAIL, SHEET C-302)

- SYMBOL LEGEND**
- PROPERTY LINE
 - EXISTING FENCE
 - PROPOSED FENCE
 - EXISTING OVERHEAD WIRE
 - EXISTING LIGHT POLE
 - EXISTING POWER POLE
 - EXISTING FIRE HYDRANT
 - PROPOSED FIRE HYDRANT
 - PROPOSED POWER POLE
 - PROPOSED OVERHEAD WIRE
 - PROPOSED ADA HANDRAILS

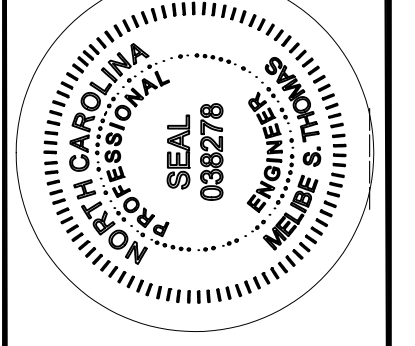
- NOTES:**
- CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
 - ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
 - ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
 - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
 - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
 - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
 - CONTACT 811 PRIOR TO CONTACTING CITY OF WILMINGTON, TRAFFIC ENGINEERING REGARDING THE UTILITIES IN ROW.



NO.	REVISIONS	DATE	BY

Kimley»Horn

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KHA PROJECT	147844001
DATE	3/16/2022
SCALE	AS SHOWN
DESIGNED BY	SRS
DRAWN BY	SRS
CHECKED BY	MST

SITE PLAN

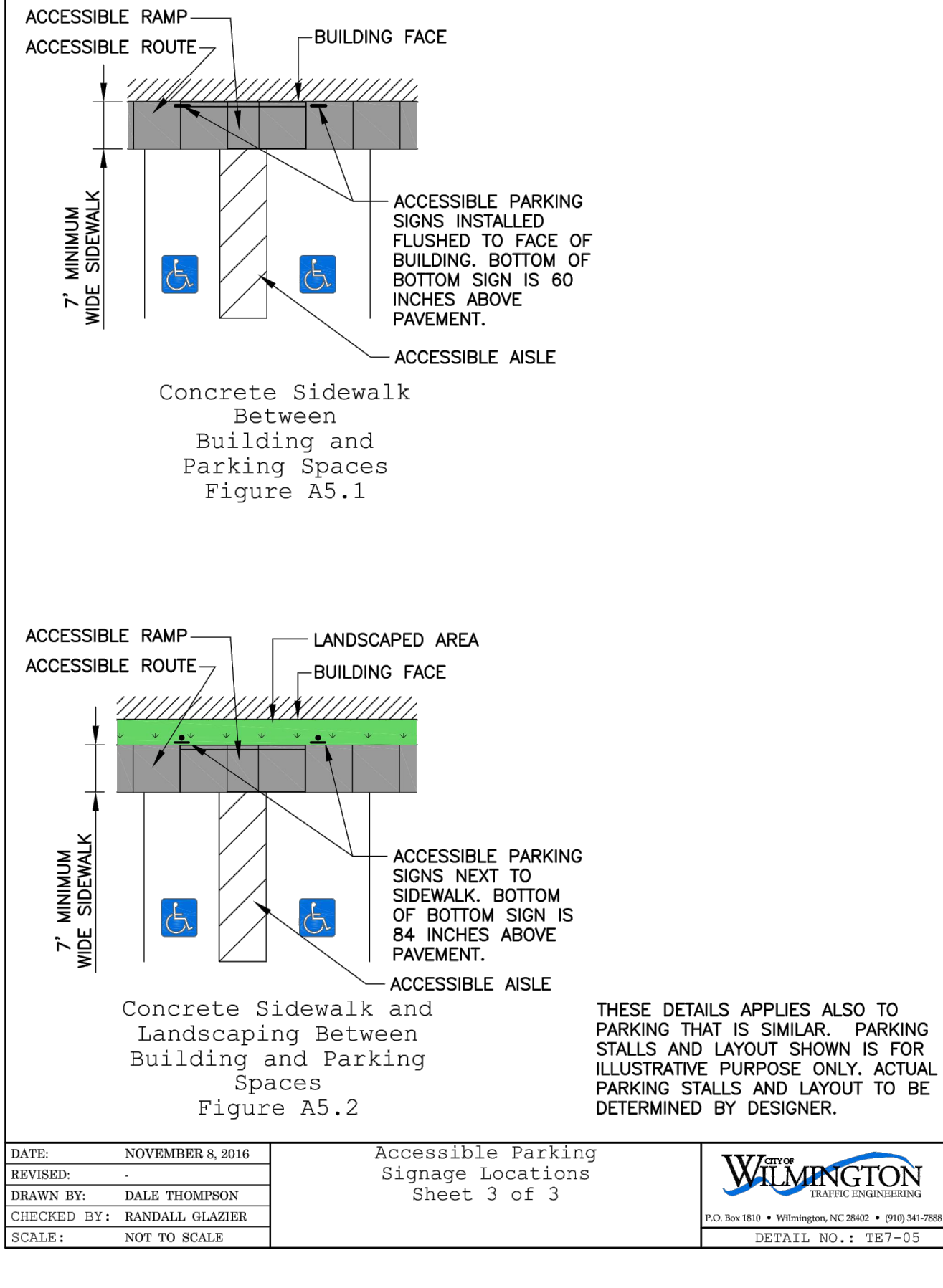
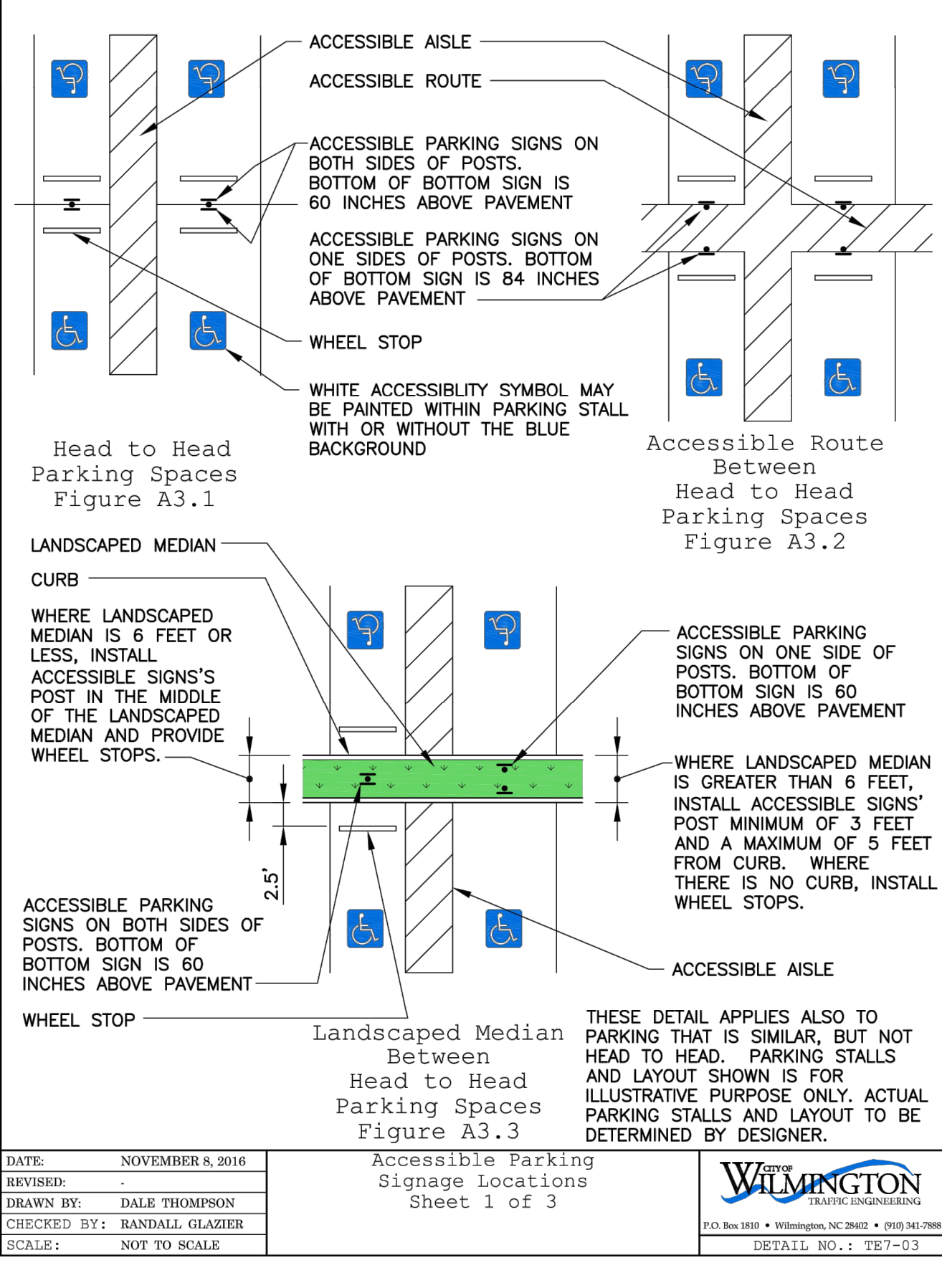
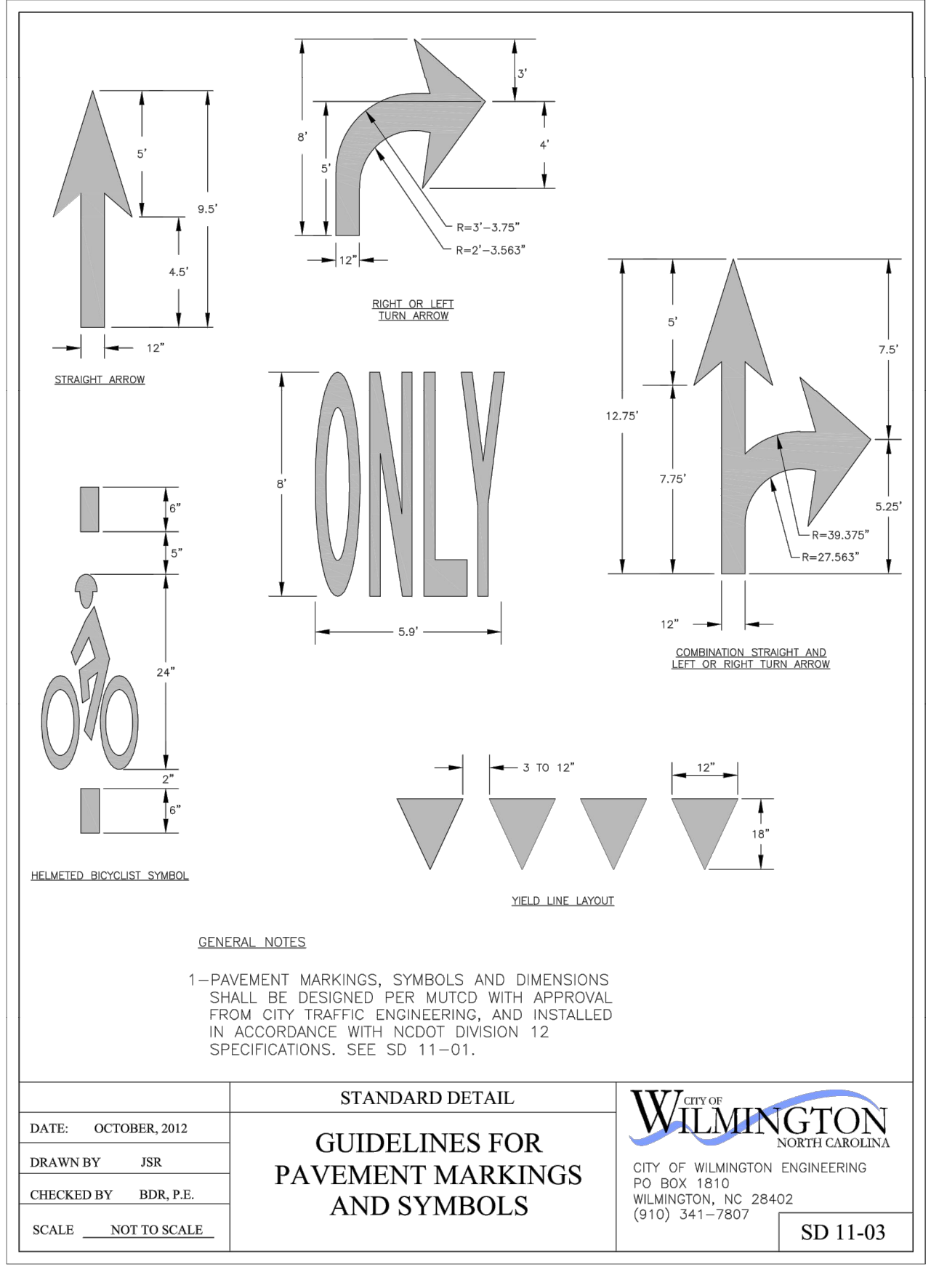
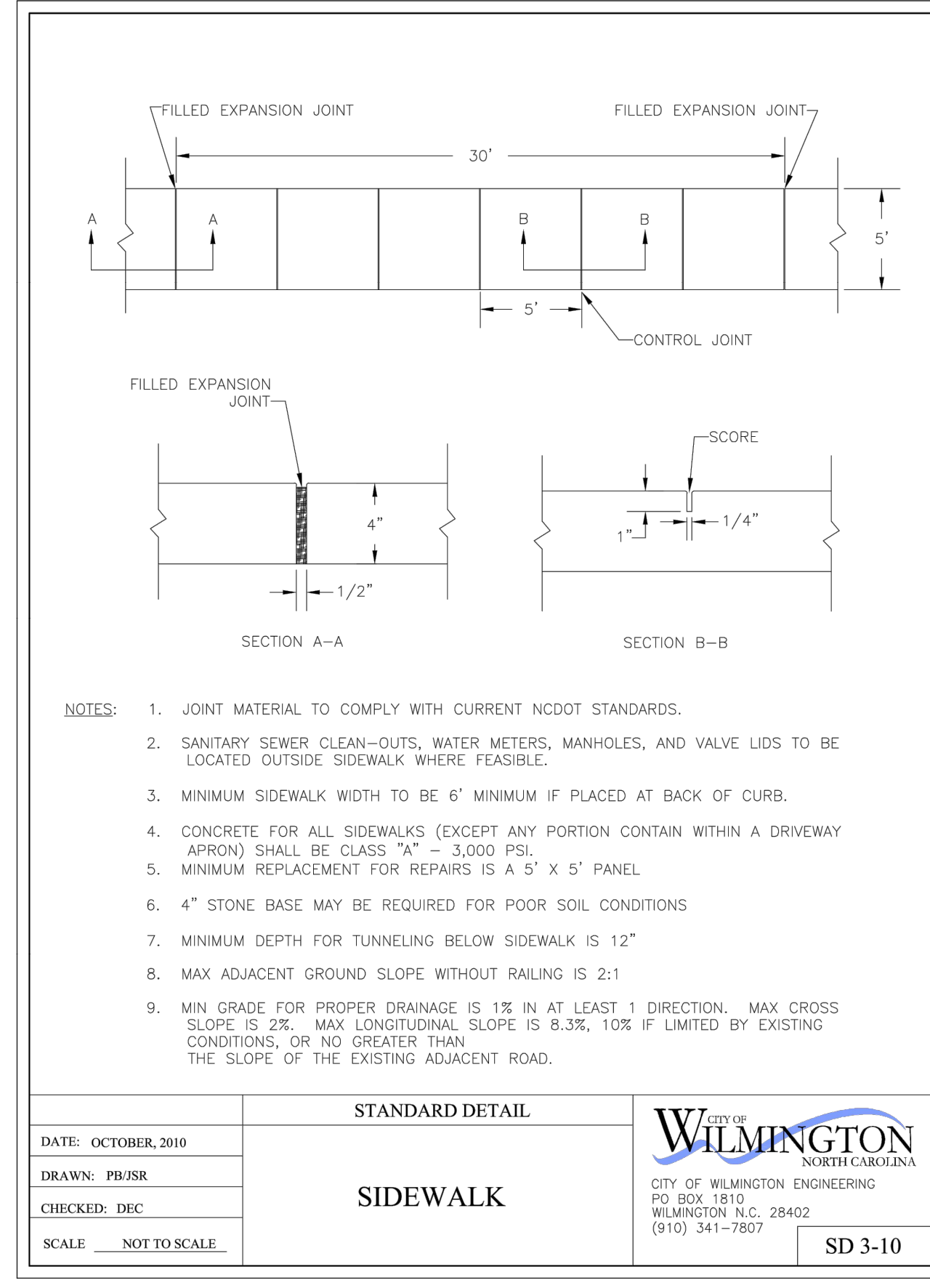
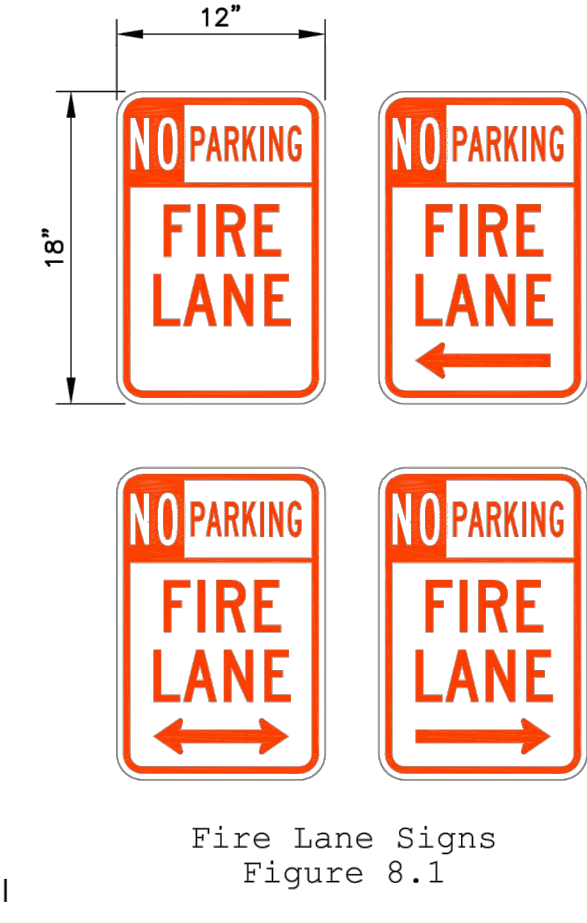
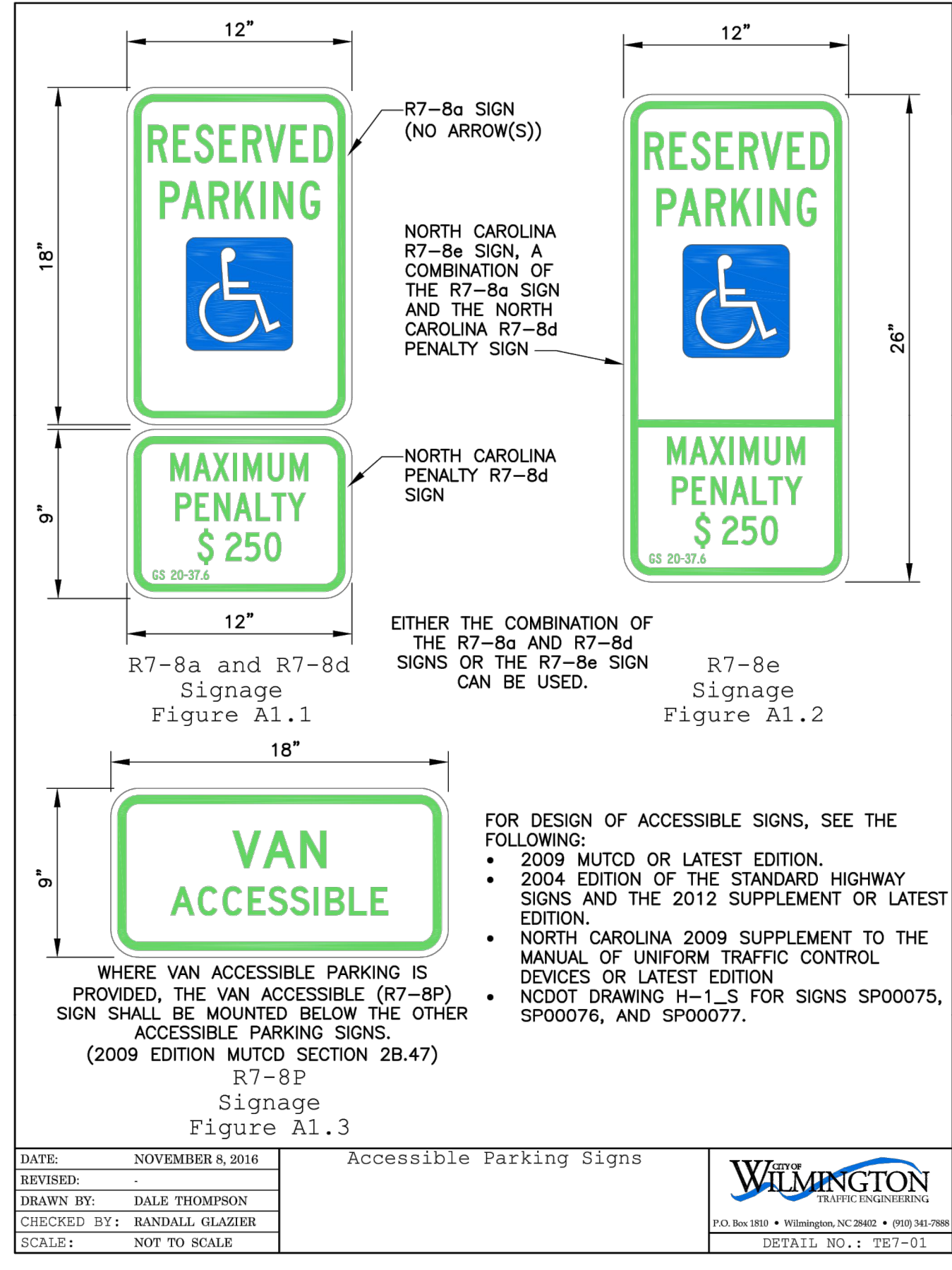
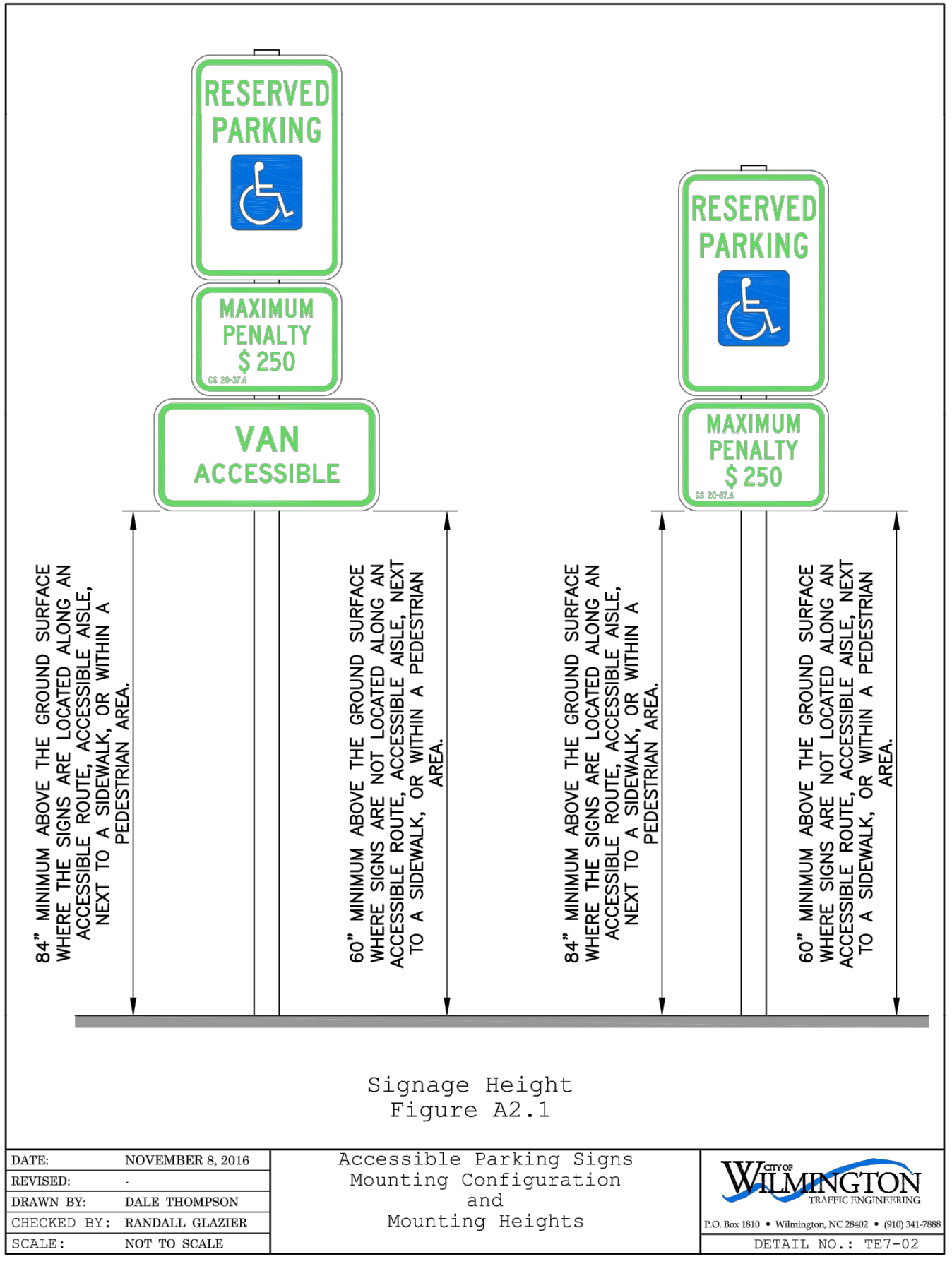
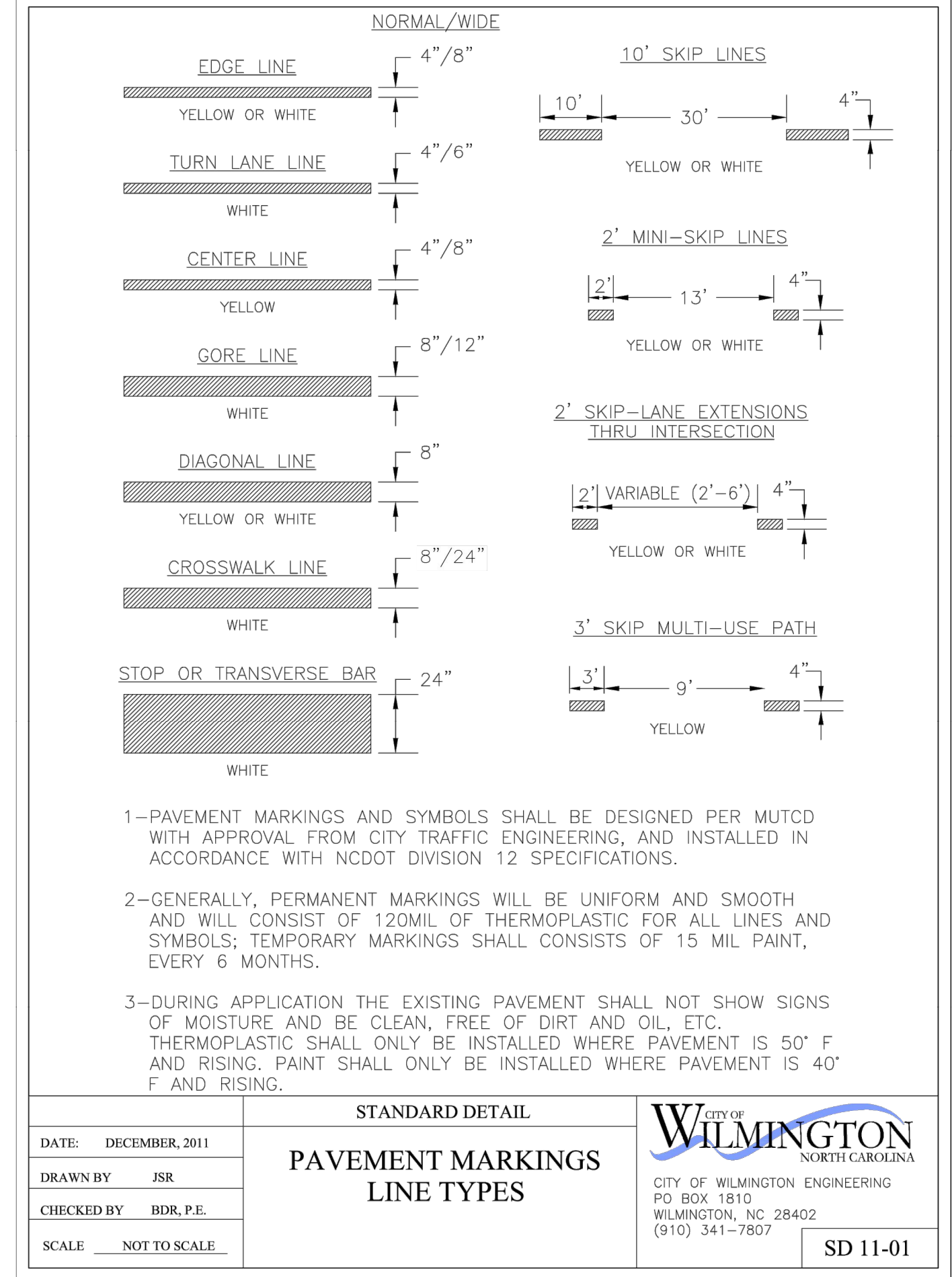
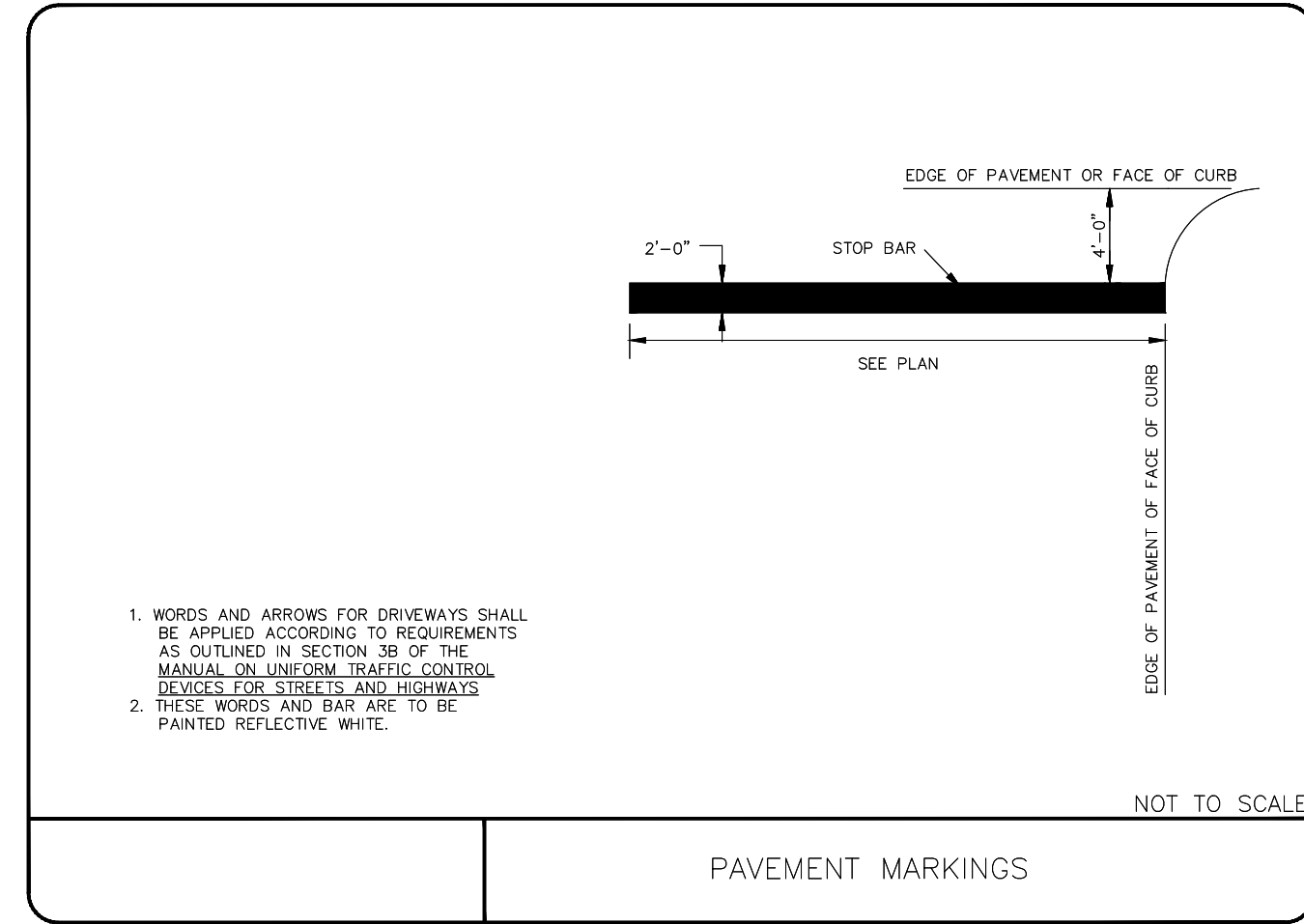
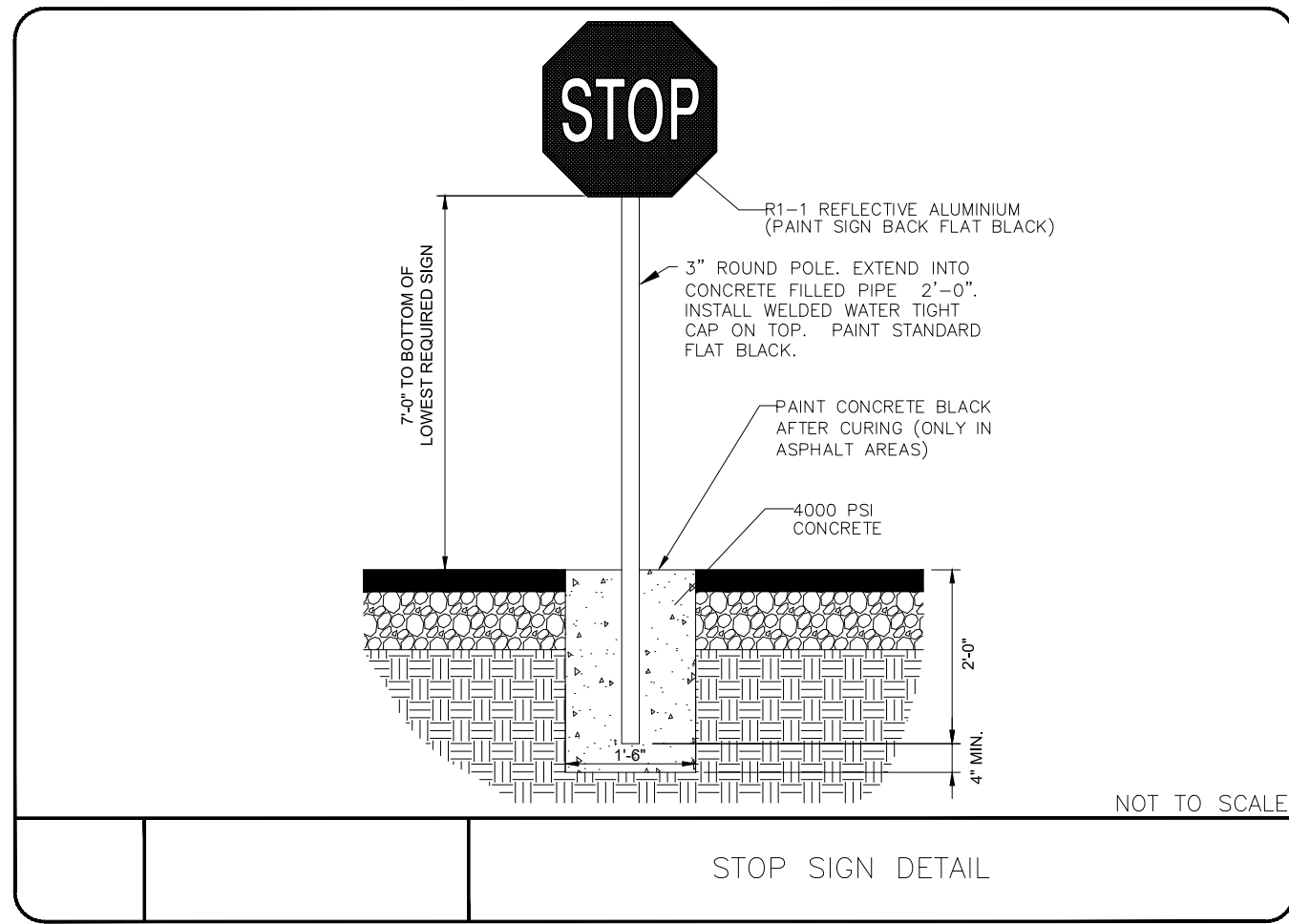
VIVO HOTEL CONVERSION WILMINGTON
 PREPARED FOR
VIVO INVESTMENT GROUP

4903 MARKET STREET WILMINGTON, NC

SHEET NUMBER
C-100

SURVEY NOTE:
 INFORMATION ON THE PLAN BASED UPON BOUNDARY SURVEY PREPARED BY AEI CONSULTANTS. ELEVATIONS SHOWN HEREON ARE BASED UPON THE TOPOGRAPHIC SURVEY PREPARED BY RILEY SURVEYING, P.A. DATED MARCH 2ND, 2022. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

Plotted By: Sparker, Spencer. Sheet: VVO-HOTEL-CONVERSION-WILMINGTON. Layout: C-101. SITE PLAN DETAILS. March 17, 2022. 03:20:02pm. K:\VRE\LE\147844001 - VVO-HOTEL-CONVERSION-WILMINGTON. Layout: C-101. SITE PLAN DETAILS. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



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NO. _____ DATE _____

REVISIONS

VIVO HOTEL CONVERSION WILMINGTON

PREPARED FOR: **VIVO INVESTMENT GROUP**

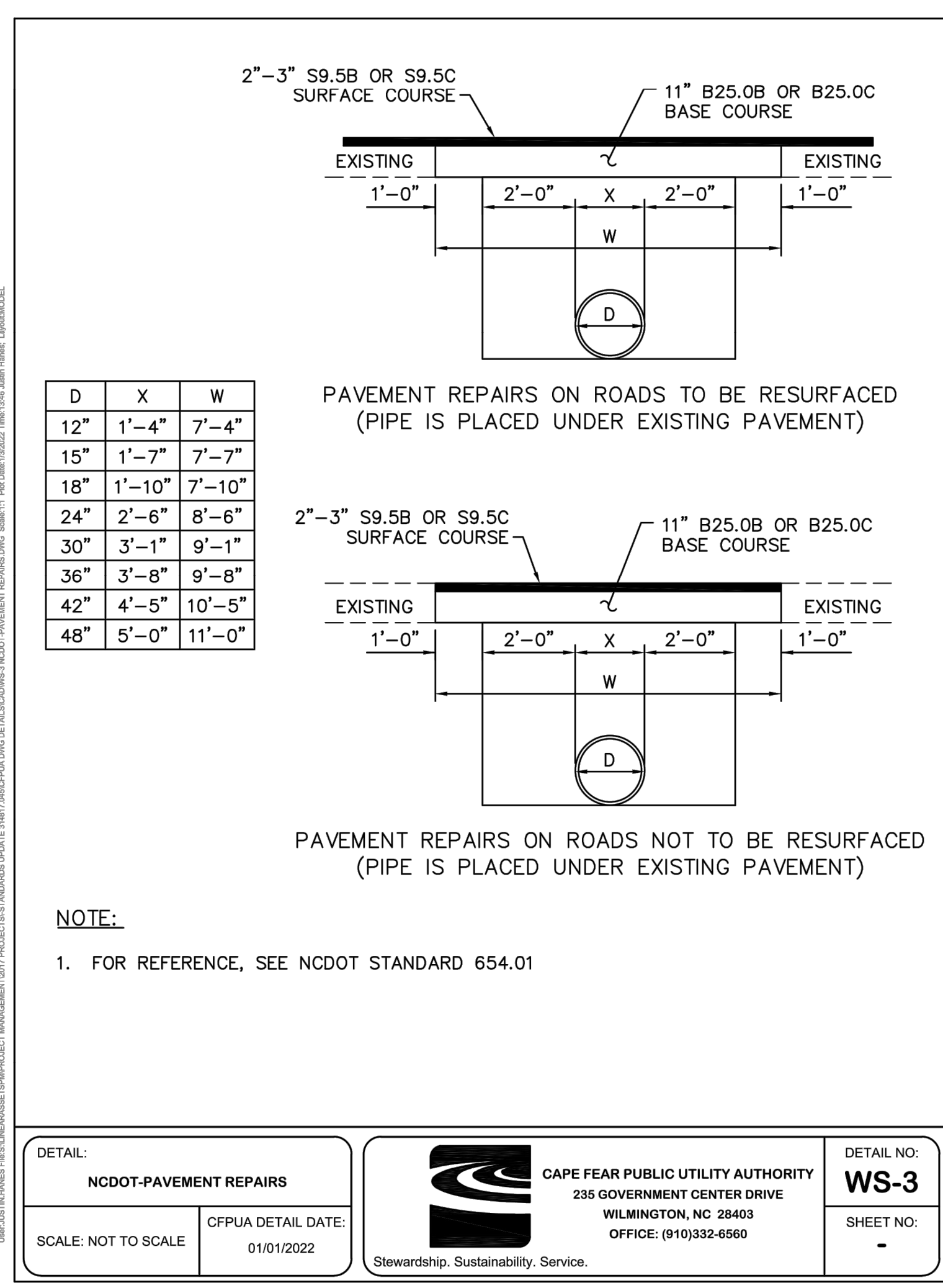
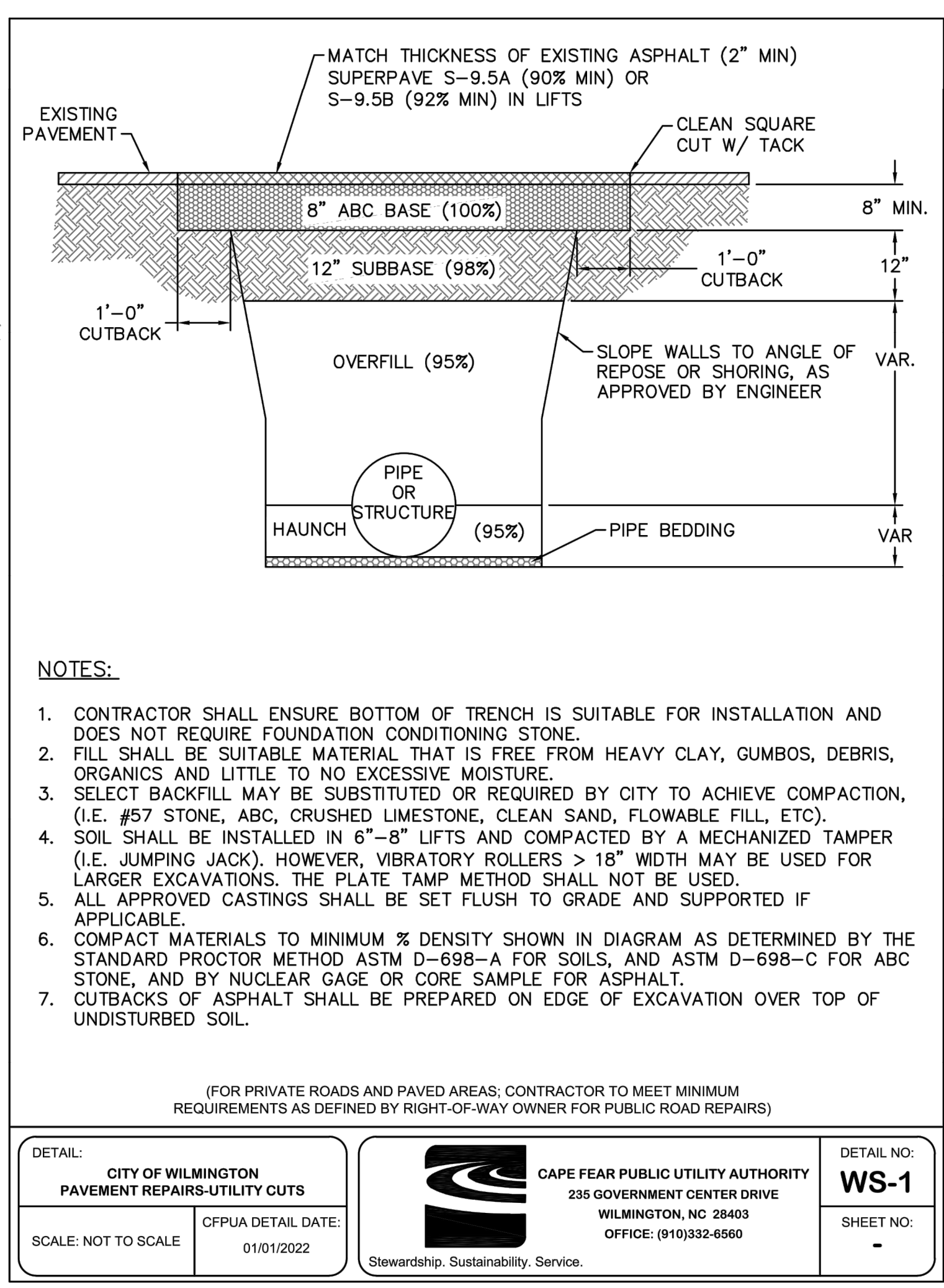
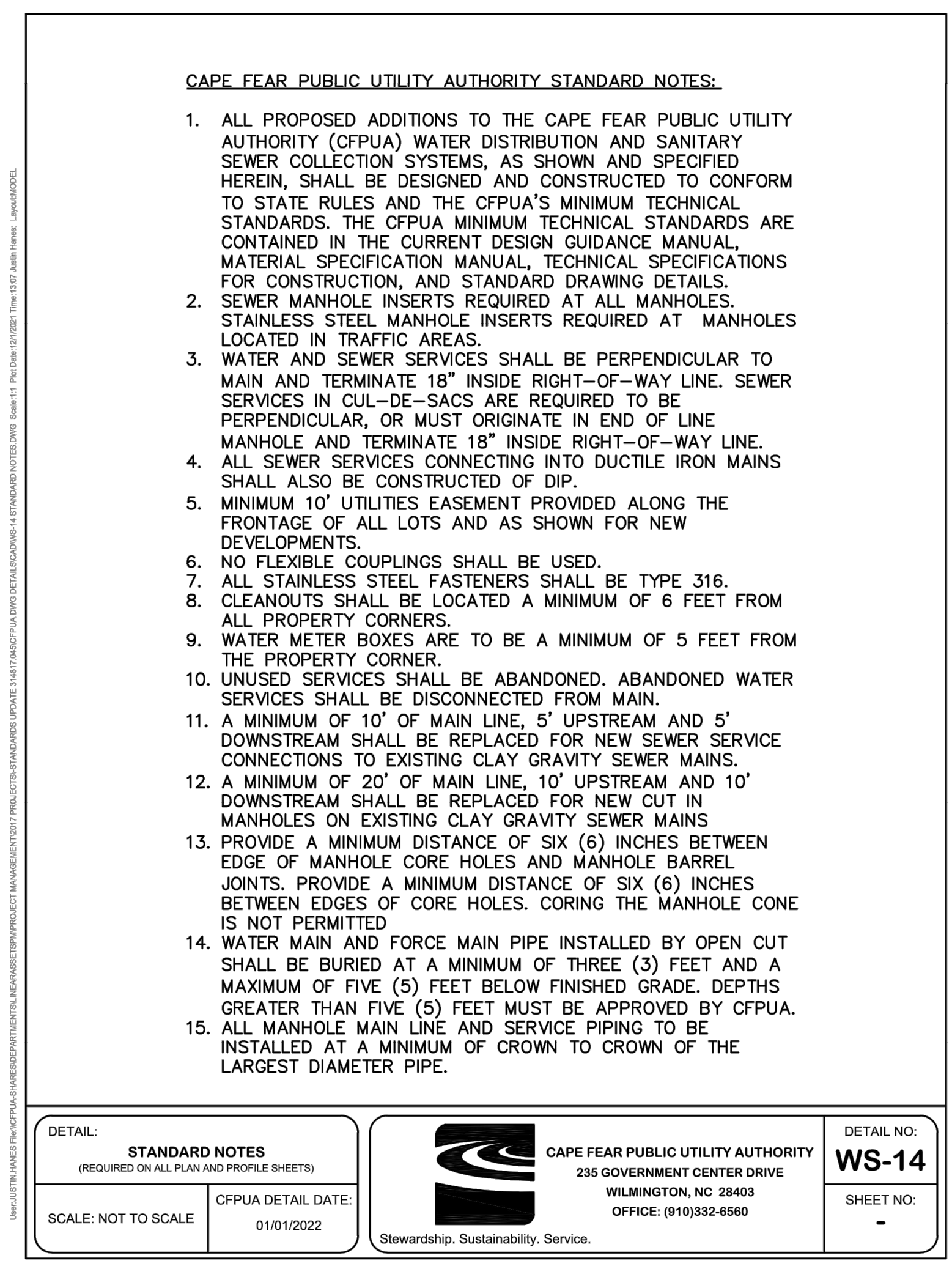
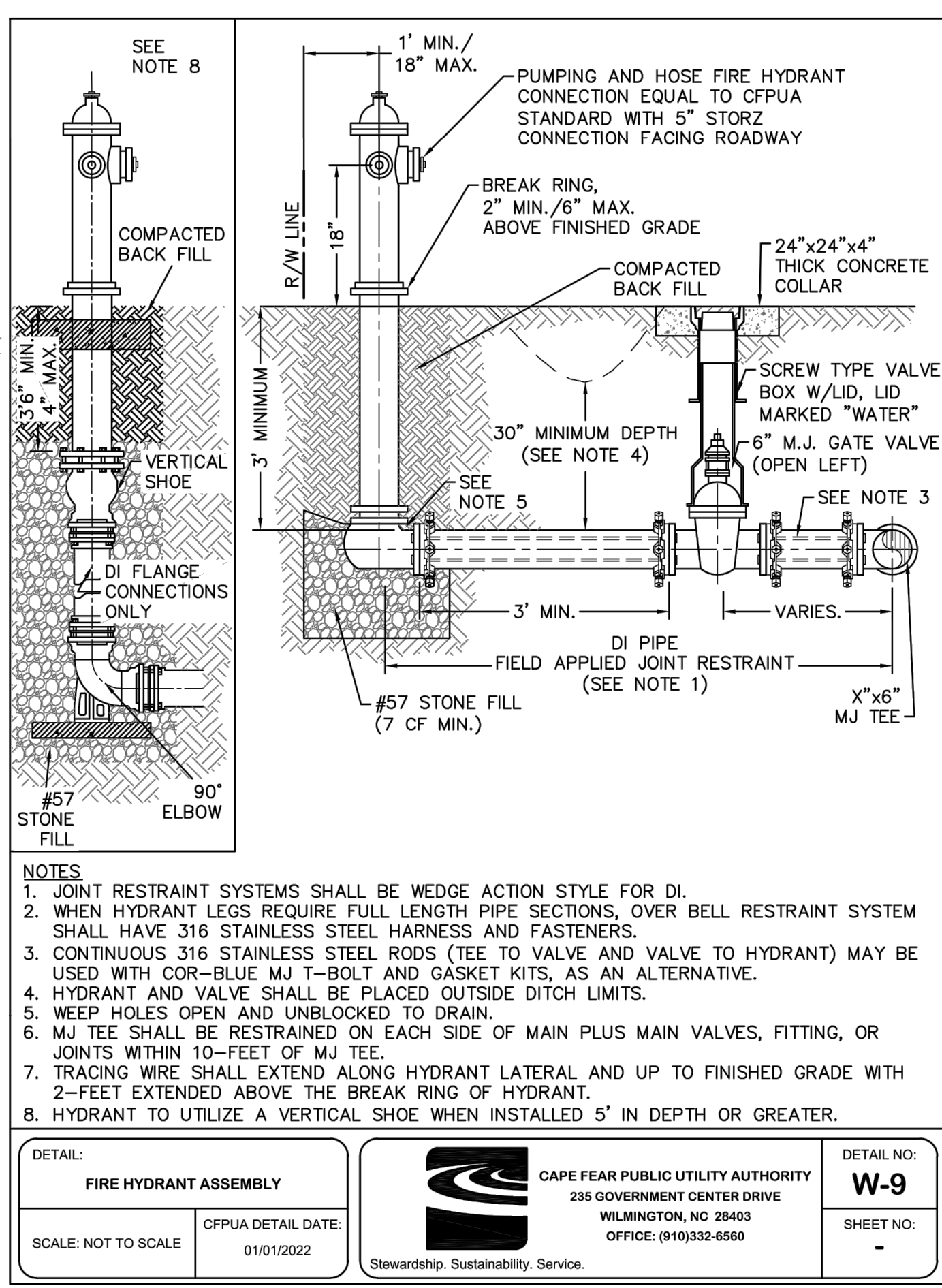
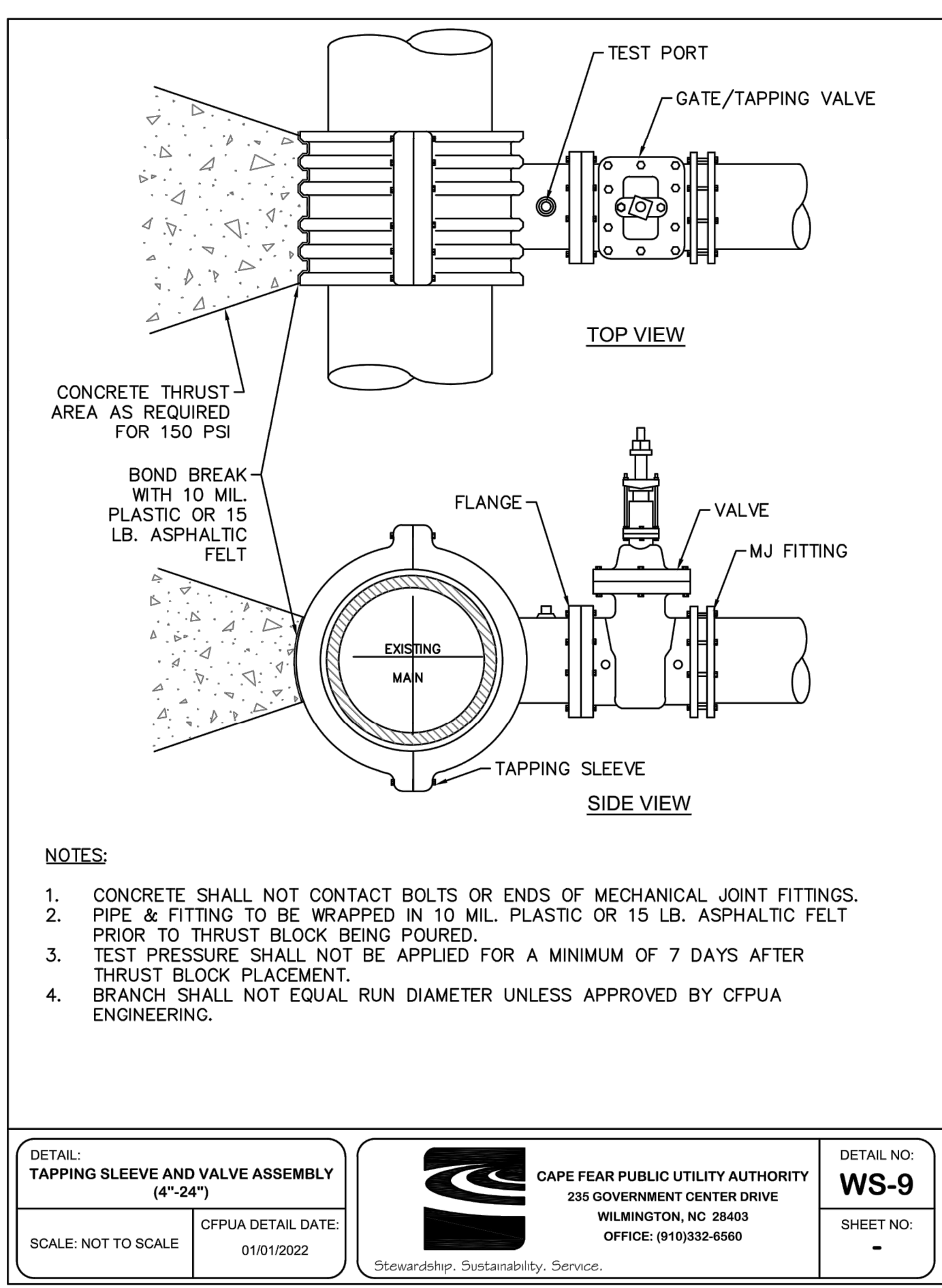
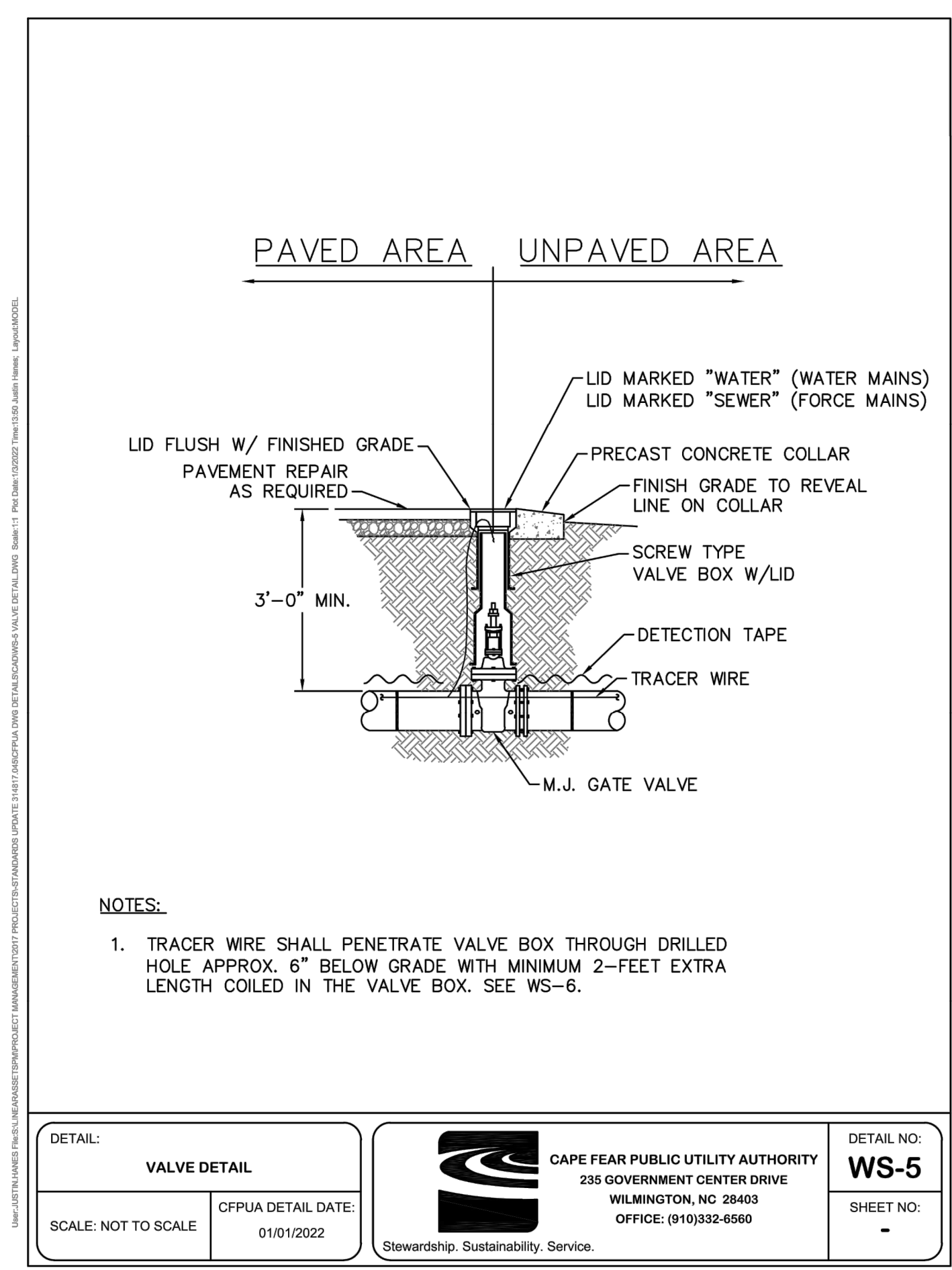
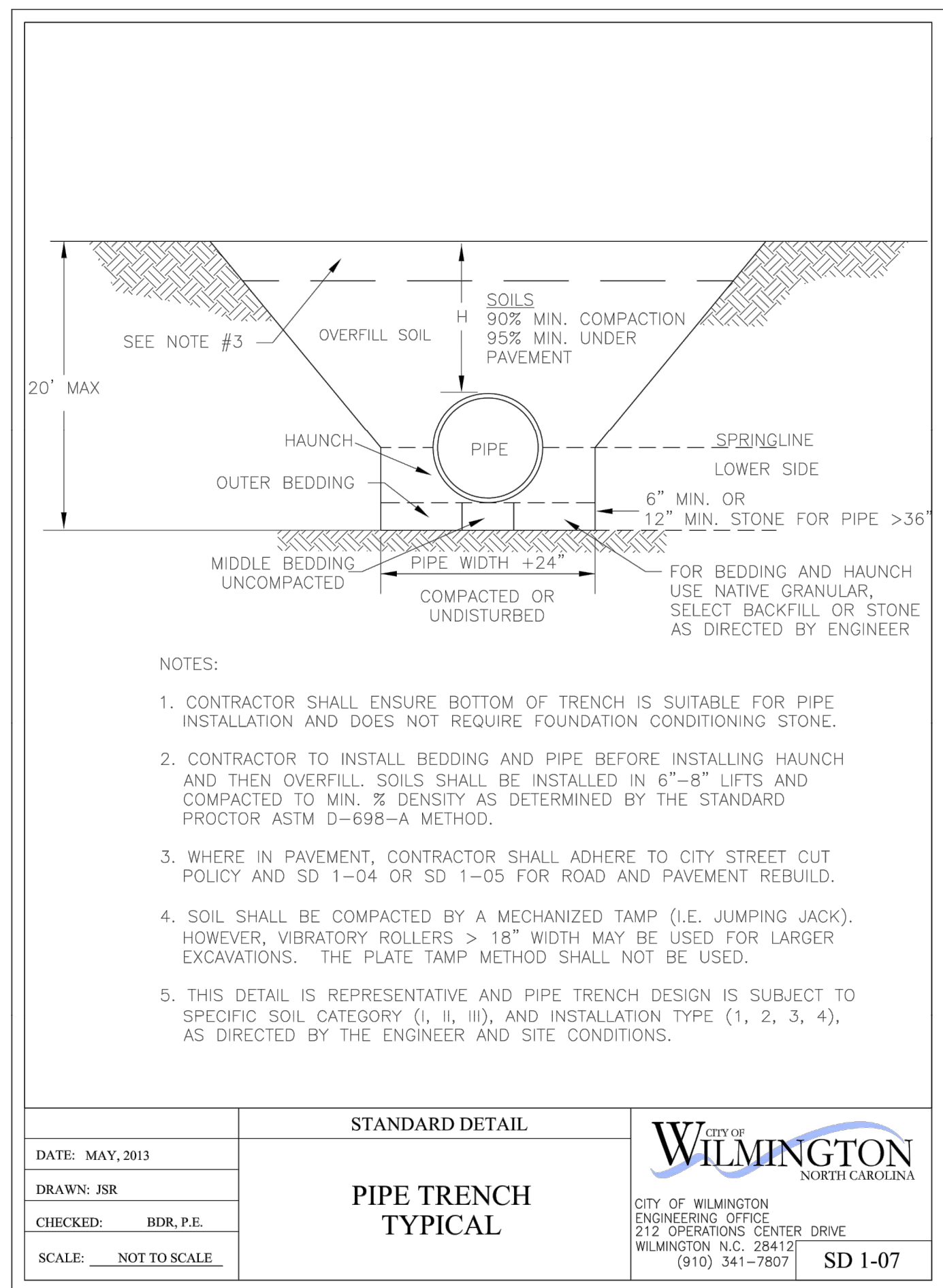
4903 MARKET STREET WILMINGTON, NC

SITE PLAN DETAILS

KHA PROJECT: 147844001
 DATE: 3/16/2022
 SCALE: AS SHOWN
 DESIGNED BY: SRS
 DRAWN BY: SRS
 CHECKED BY: MST

SHEET NUMBER: **C-101**

Plotted By: Sparker, Spencer. Sheet: VVO HOTEL CONVERSION, WILMINGTON. Layout: C-201 UTILITY DETAILS. March 17, 2022. 03:21:47pm. K:\VIB-LOEVA\147244001 - VVO Hotel Conversion - Utility Details.dwg. User: VVO. Date: 3/17/2022. Time: 10:52:46am. User: VVO.



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VIVO HOTEL CONVERSION
 WILMINGTON
 PREPARED FOR
 VIVO INVESTMENT GROUP

4903 MARKET STREET WILMINGTON, NC

UTILITY DETAILS

KHA PROJECT: 147244001
 DATE: 3/16/2022
 SCALE: AS SHOWN
 DESIGNED BY: SRS
 DRAWN BY: SRS
 CHECKED BY: MST

DATE: _____

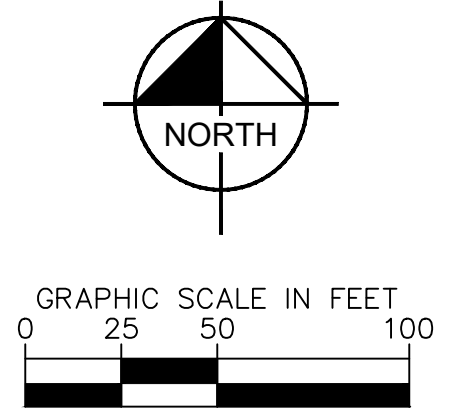
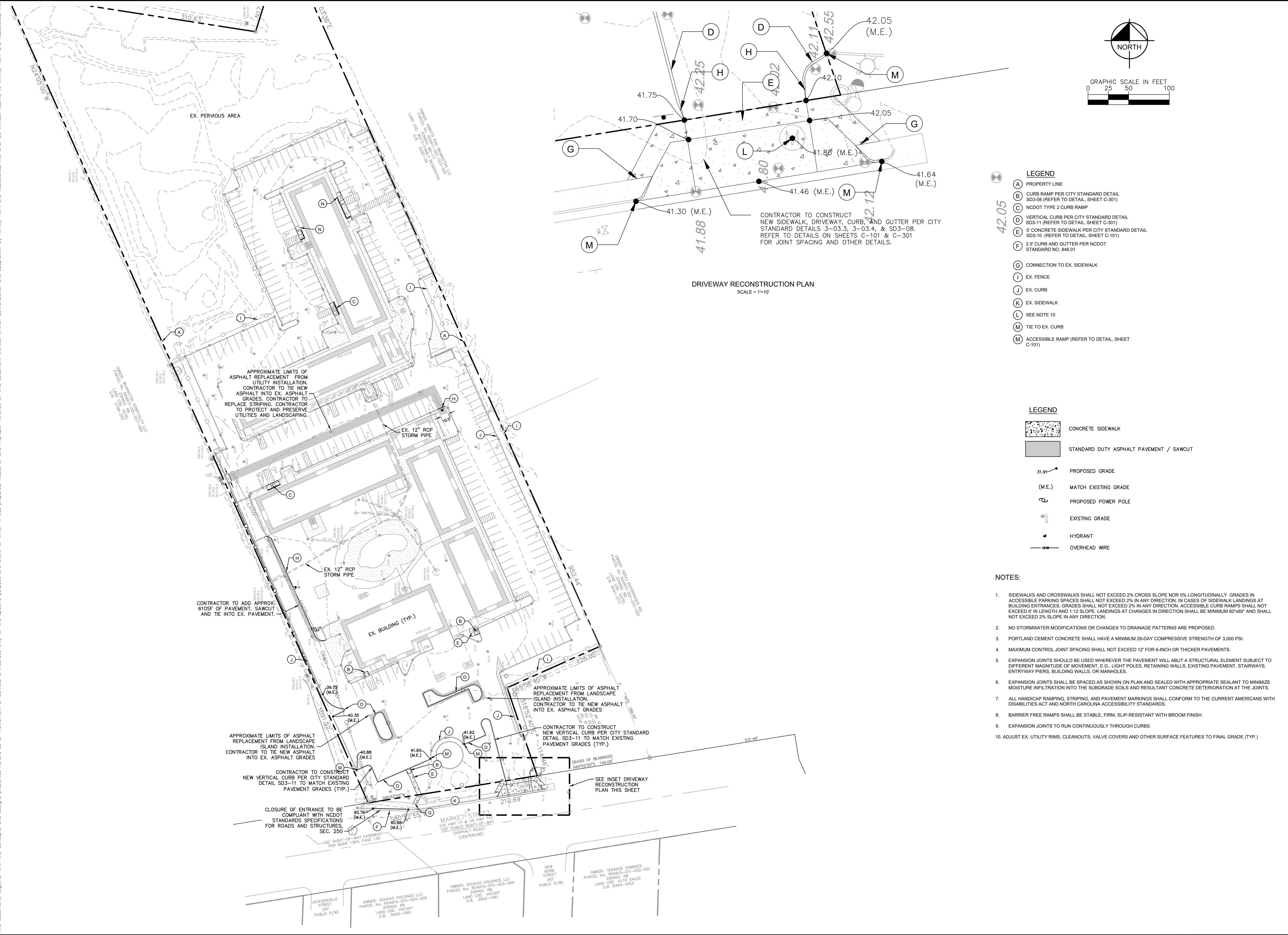
REVISIONS

No. _____

DATE _____

SHEET NUMBER **C-201**

Plotted By: Sparker, Spencer. Sheet: VVO-HOTEL-CONVERSION-WILMINGTON. Layout: C-300 PAVING, GRADING, AND DRAINAGE PLAN. March 17, 2022. 03:22:12pm. K:\WEB\DEV\147844001 - VVO-Wilmington-Hotel-Conversion\CADD\PlanSheets\C-300 PAVING, GRADING, AND DRAINAGE PLAN.dwg
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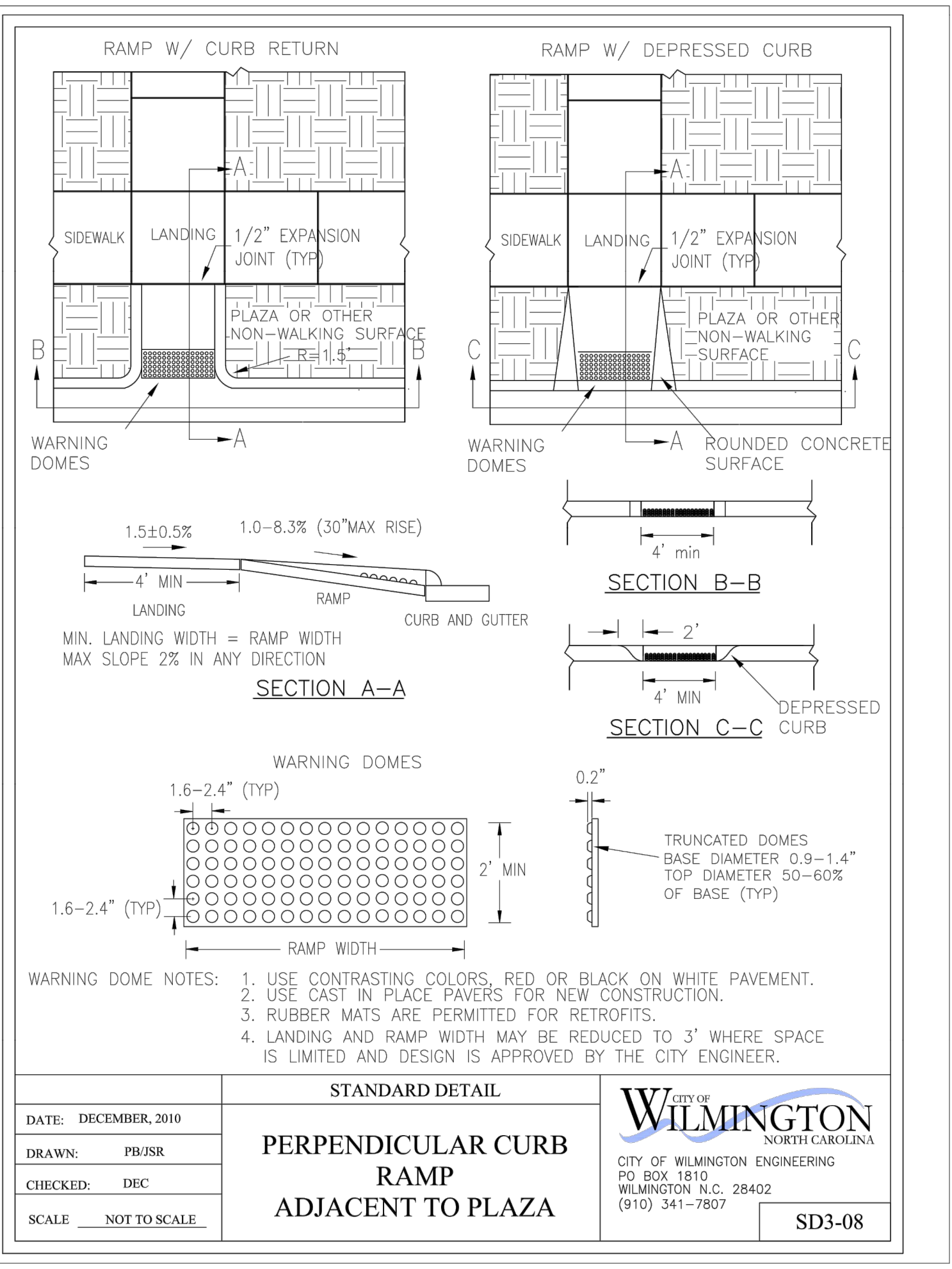
- LEGEND**
- (A) PROPERTY LINE
 - (B) CURB RAMP PER CITY STANDARD DETAIL SD3-08 (REFER TO DETAIL SHEET C-301)
 - (C) NCDOT TYPE 2 CURB RAMP
 - (D) VERTICAL CURB PER CITY STANDARD DETAIL SD3-11 (REFER TO DETAIL SHEET C-301)
 - (E) 5" CONCRETE SIDEWALK PER CITY STANDARD DETAIL SD3-10 (REFER TO DETAIL SHEET C-101)
 - (F) 2.5" CURB AND GUTTER PER NCDOT STANDARD NO. 846.01
 - (G) CONNECTION TO EX. SIDEWALK
 - (I) EX. FENCE
 - (J) EX. CURB
 - (K) EX. SIDEWALK
 - (L) SEE NOTE 10
 - (M) TIE TO EX. CURB
 - (N) ACCESSIBLE RAMP (REFER TO DETAIL, SHEET C-101)

- LEGEND**
- CONCRETE SIDEWALK
 - STANDARD DUTY ASPHALT PAVEMENT / SAWCUT
 - PROPOSED GRADE
 - (M.E.) MATCH EXISTING GRADE
 - PROPOSED POWER POLE
 - EXISTING GRADE
 - HYDRANT
 - OVERHEAD WIRE

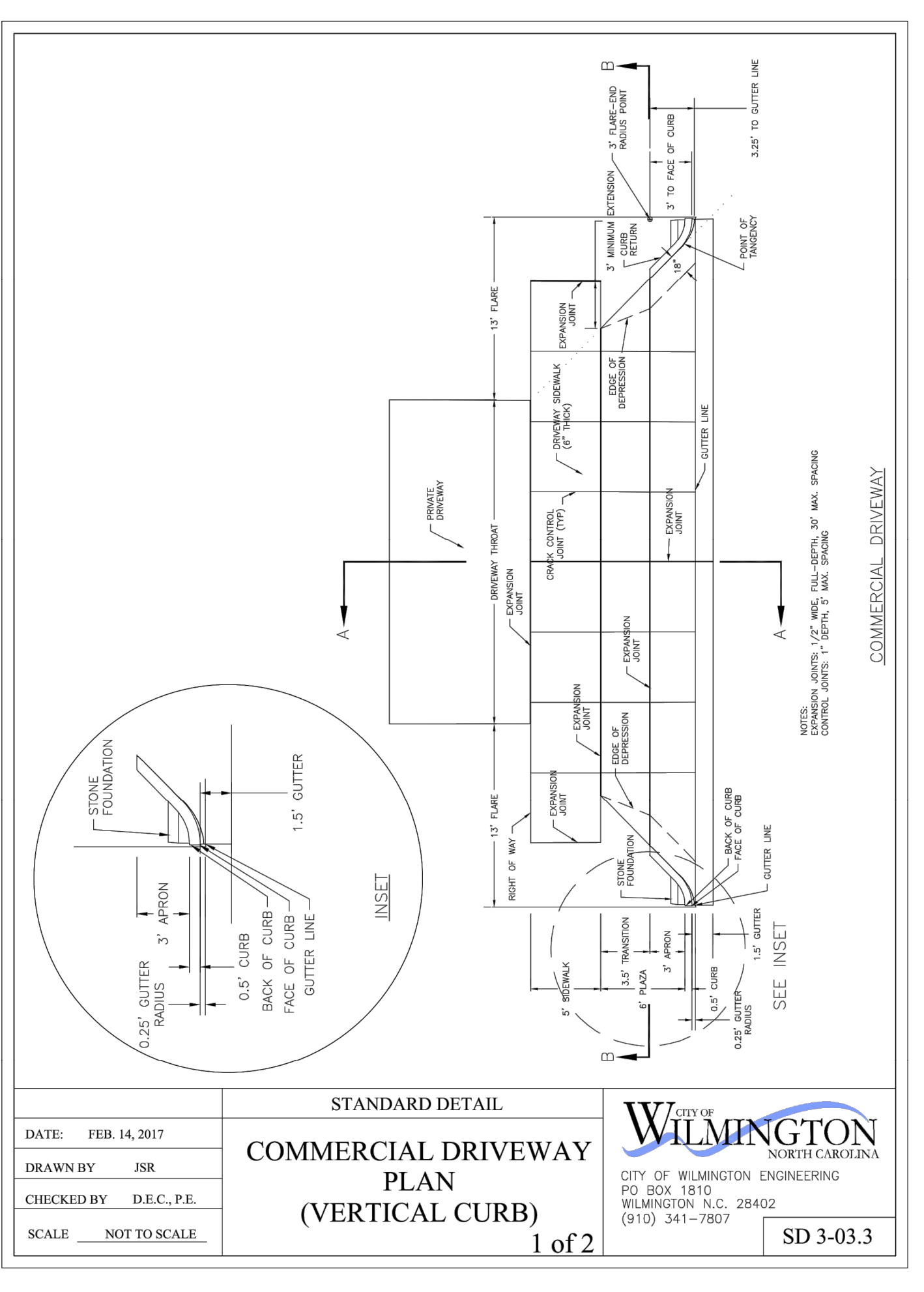
- NOTES:**
1. SIDEWALKS AND CROSSWALKS SHALL NOT EXCEED 2% CROSS SLOPE NOR 5% LONGITUDINALLY. GRADES IN ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION. IN CASES OF SIDEWALK LANDINGS AT BUILDING ENTRANCES, GRADES SHALL NOT EXCEED 2% IN ANY DIRECTION. ACCESSIBLE CURB RAMPS SHALL NOT EXCEED 6" IN LENGTH AND 1:12 SLOPE. LANDINGS AT CHANGES IN DIRECTION SHALL BE MINIMUM 60"x60" AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
 2. NO STORMWATER MODIFICATIONS OR CHANGES TO DRAINAGE PATTERNS ARE PROPOSED.
 3. PORTLAND CEMENT CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
 4. MAXIMUM CONTROL JOINT SPACING SHALL NOT EXCEED 12' FOR 6-INCH OR THICKER PAVEMENTS.
 5. EXPANSION JOINTS SHOULD BE USED WHEREVER THE PAVEMENT WILL ABUT A STRUCTURAL ELEMENT SUBJECT TO DIFFERENT MAGNITUDE OF MOVEMENT, E.G., LIGHT POLES, RETAINING WALLS, EXISTING PAVEMENT, STAIRWAYS, ENTRYWAY PIERS, BUILDING WALLS, OR MANHOLES.
 6. EXPANSION JOINTS SHALL BE SPACED AS SHOWN ON PLAN AND SEALED WITH APPROPRIATE SEALANT TO MINIMIZE MOISTURE INFILTRATION INTO THE SUBGRADE SOILS AND RESULTANT CONCRETE DETERIORATION AT THE JOINTS.
 7. ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE CURRENT AMERICANS WITH DISABILITIES ACT AND NORTH CAROLINA ACCESSIBILITY STANDARDS.
 8. BARRIER FREE RAMPS SHALL BE STABLE, FIRM, SLIP-RESISTANT WITH BROOM FINISH.
 9. EXPANSION JOINTS TO RUN CONTINUOUSLY THROUGH CURBS.
 10. ADJUST EX. UTILITY RIMS, CLEANOUTS, VALVE COVERS AND OTHER SURFACE FEATURES TO FINAL GRADE (TYP.)

<p>Kimley»Horn</p> <p>© 2022, KIMLEY-HORN AND ASSOCIATES, INC. 200 SOUTH TRYON STREET, CHARLOTTE, NC 28202 PHONE: 704-333-5131 FAX: 704-409-1810 WWW.KIMLEY-HORN.COM</p>	<p style="text-align: center;">PROFESSIONAL SEAL</p> <p style="text-align: center;">KIMLEY-HORN AND ASSOCIATES, INC. LICENSE NO. 038278 EXPIRES 12/31/2024</p>
<p>KHA PROJECT 147844001</p> <p>DATE 3/16/2022</p> <p>SCALE AS SHOWN</p> <p>DESIGNED BY SRS</p> <p>DRAWN BY SRS</p> <p>CHECKED BY MST</p>	<p style="text-align: center;">PAVING, GRADING, AND DRAINAGE PLAN</p>
<p>VIVO HOTEL CONVERSION WILMINGTON</p> <p style="text-align: center;">PREPARED FOR VIVO INVESTMENT GROUP</p> <p>4903 MARKET STREET WILMINGTON, NC</p>	<p style="text-align: center;">SHEET NUMBER C-300</p>
<p>NO. _____</p> <p>REVISIONS _____</p> <p>DATE _____</p>	<p>BY _____</p>

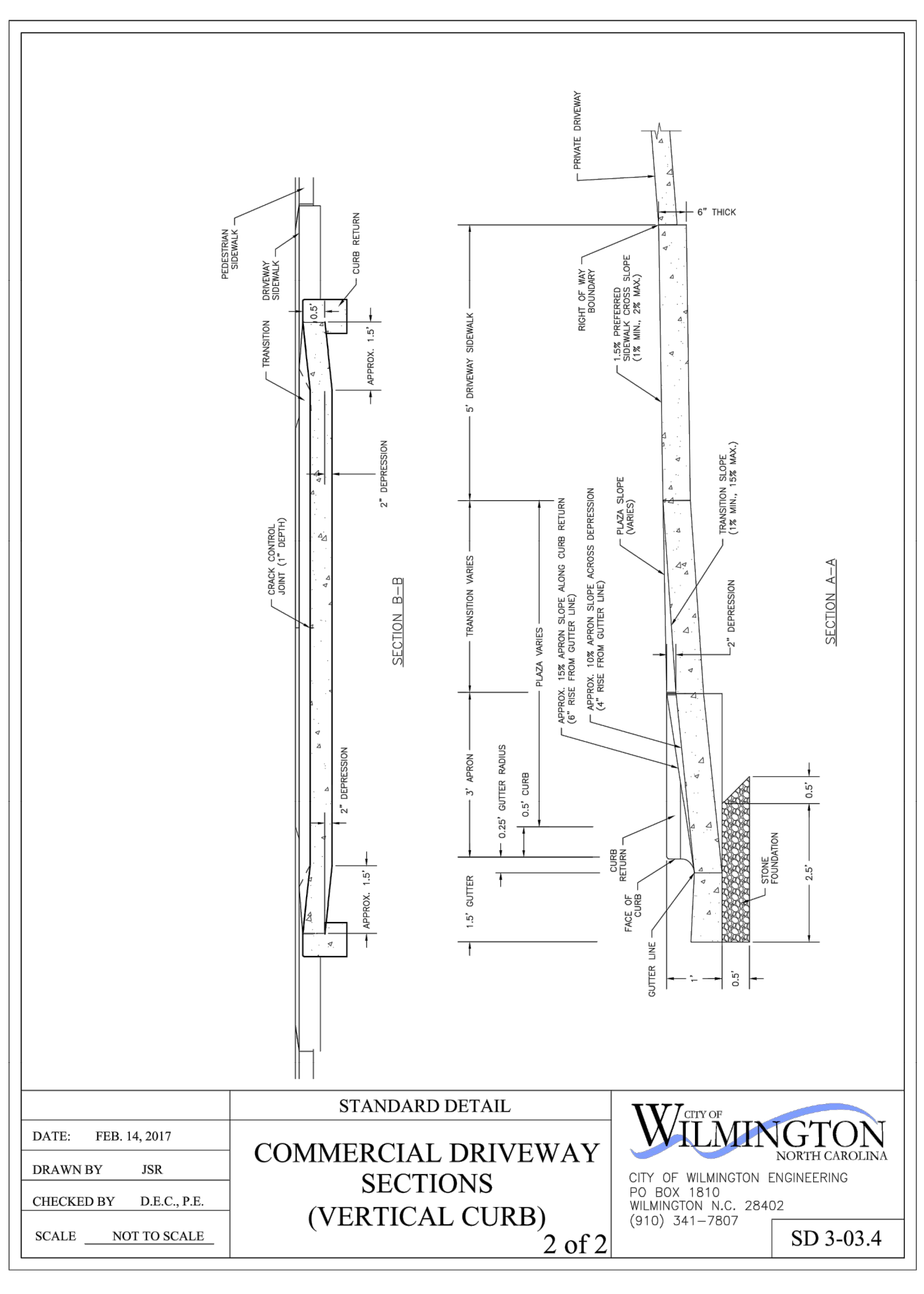
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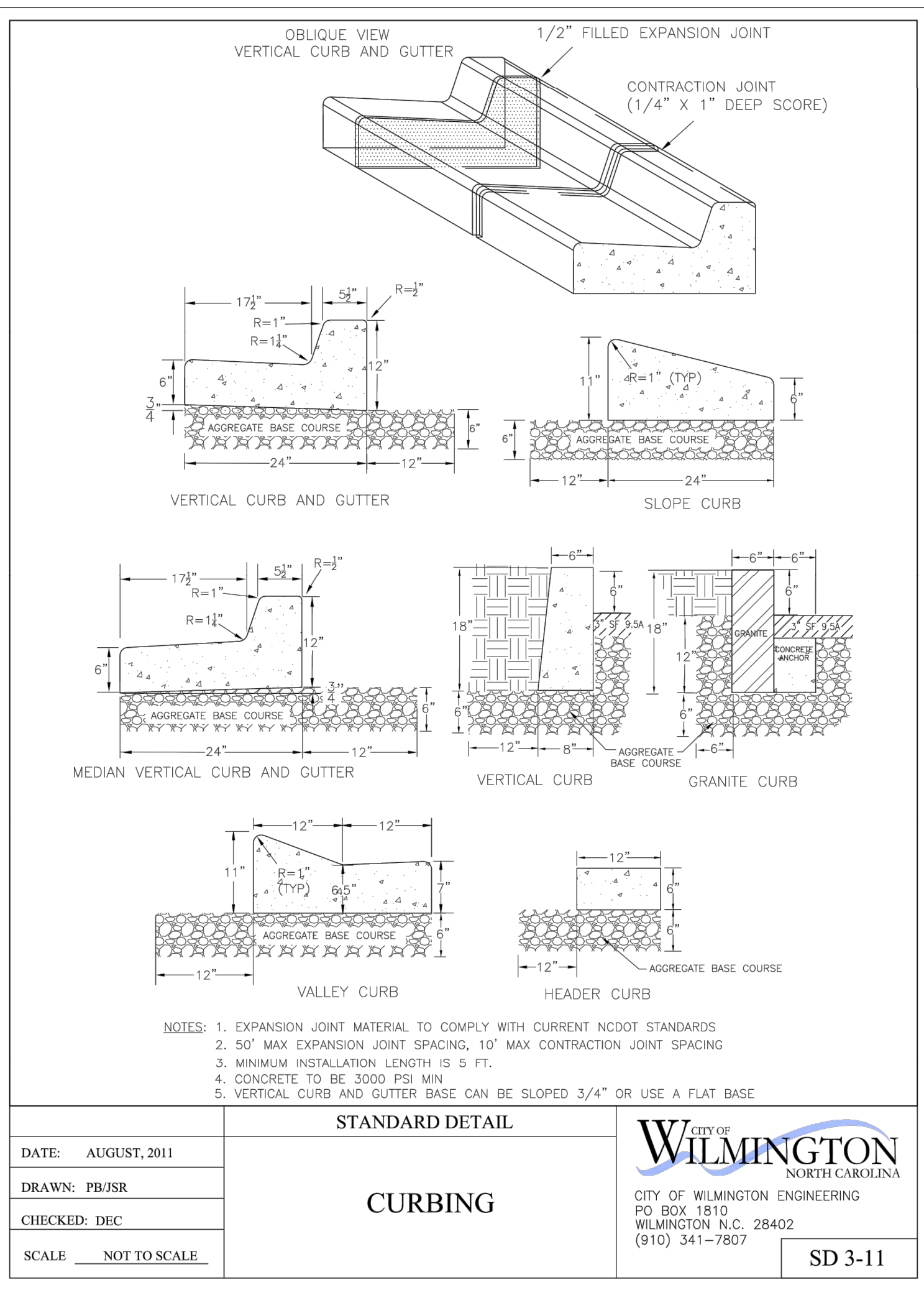
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DATE:	DECEMBER, 2010		
DRAWN BY:	PB/JSR		
CHECKED BY:	DEC		
SCALE:	NOT TO SCALE		



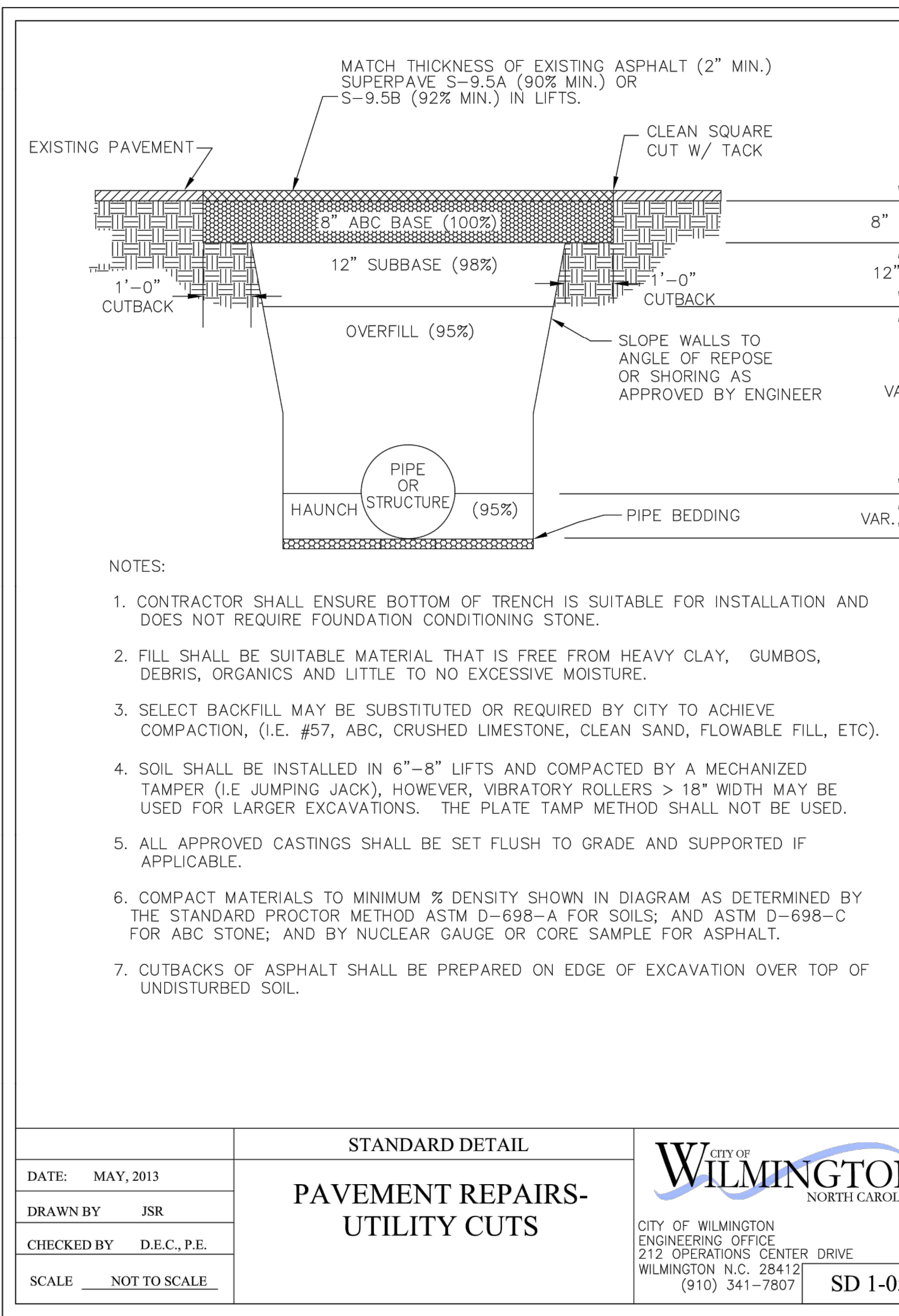
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DATE:	FEB. 14, 2017		
DRAWN BY:	JSR		
CHECKED BY:	D.E.C., P.E.		
SCALE:	NOT TO SCALE		



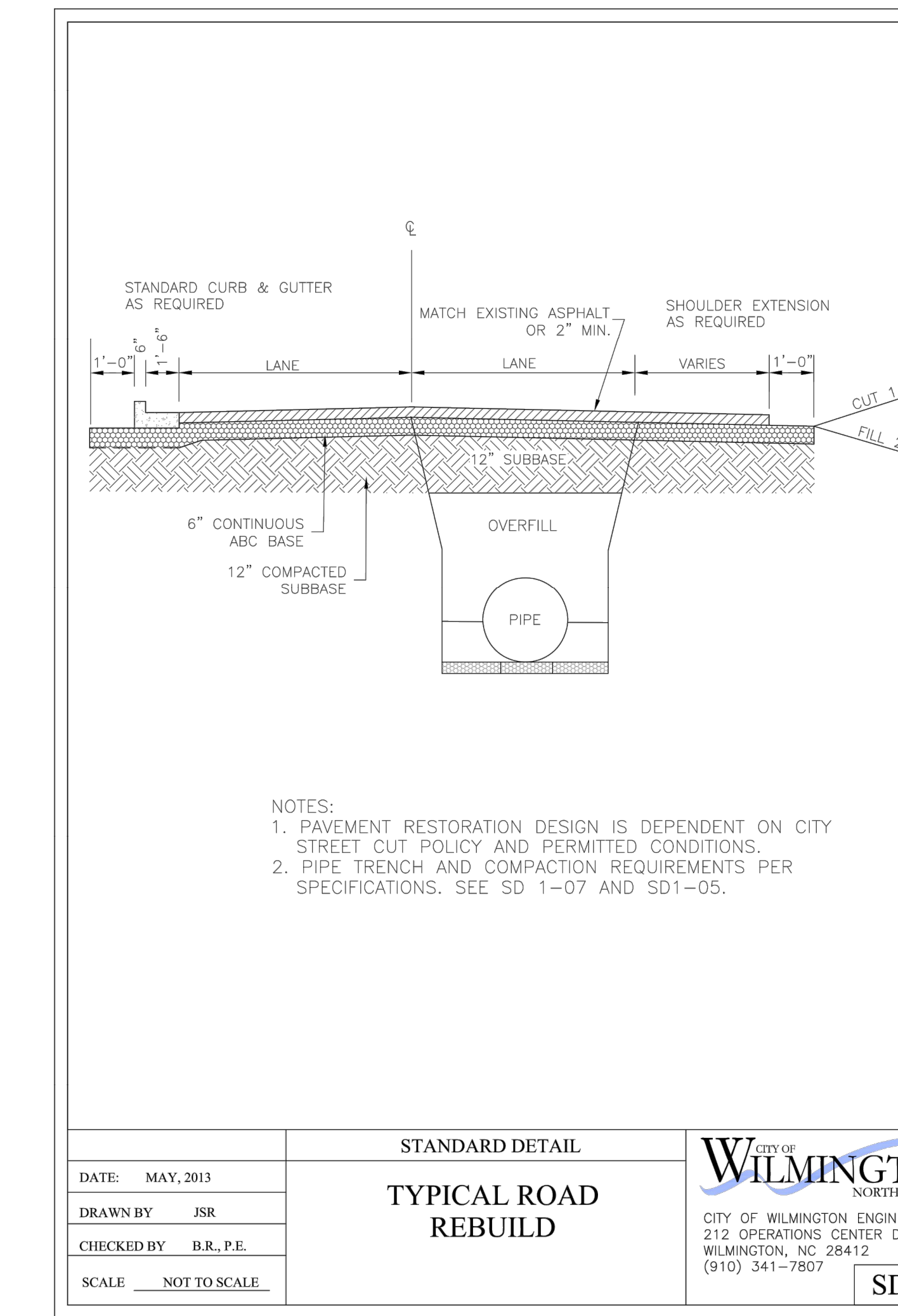
STANDARD DETAIL		 CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON N.C. 28402 (910) 341-7807	SD 3-03.4
DATE:	FEB. 14, 2017		
DRAWN BY:	JSR		
CHECKED BY:	D.E.C., P.E.		
SCALE:	NOT TO SCALE		



STANDARD DETAIL		 CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON N.C. 28402 (910) 341-7807	SD 3-11
DATE:	AUGUST, 2011		
DRAWN BY:	PB/JSR		
CHECKED BY:	DEC		
SCALE:	NOT TO SCALE		



STANDARD DETAIL		 CITY OF WILMINGTON ENGINEERING 212 OPERATIONS CENTER DRIVE WILMINGTON N.C. 28412 (910) 341-7807	SD 1-05
DATE:	MAY, 2013		
DRAWN BY:	JSR		
CHECKED BY:	D.E.C., P.E.		
SCALE:	NOT TO SCALE		



STANDARD DETAIL		 CITY OF WILMINGTON ENGINEERING 212 OPERATIONS CENTER DR. WILMINGTON, NC 28412 (910) 341-7807	SD 1-04
DATE:	MAY, 2013		
DRAWN BY:	JSR		
CHECKED BY:	B.R., P.E.		
SCALE:	NOT TO SCALE		

No.	REVISIONS	DATE	BY

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KHA PROJECT	147844001
DATE	3/16/2022
SCALE	AS SHOWN
DESIGNED BY	SRS
DRAWN BY	SRS
CHECKED BY	MST

**PAVING, GRADING,
 AND DRAINAGE
 DETAILS**

**VIVO HOTEL CONVERSION
 WILMINGTON**
 PREPARED FOR
VIVO INVESTMENT GROUP
 4903 MARKET STREET WILMINGTON, NC

Plotted By: Spraker, Spencer. Sheet: VVO HOTEL CONVERSION WILMINGTON. Layout: L-050. March 17, 2022. 03:23:25pm. K:\VWB\DEVA\147844001 - Vvo Wilmington Hotel Conversion\CADD\PlanSheets\L-100 Landscape Plan.dwg
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OWNER: ABBOTS RUN WILMINGTON LLC
 PARCEL No. R04911-001-023-000
 ZONING: MD-17
 LAND USE: MULTI-FAMILY RESIDENTIAL
 D.B. 6290-39

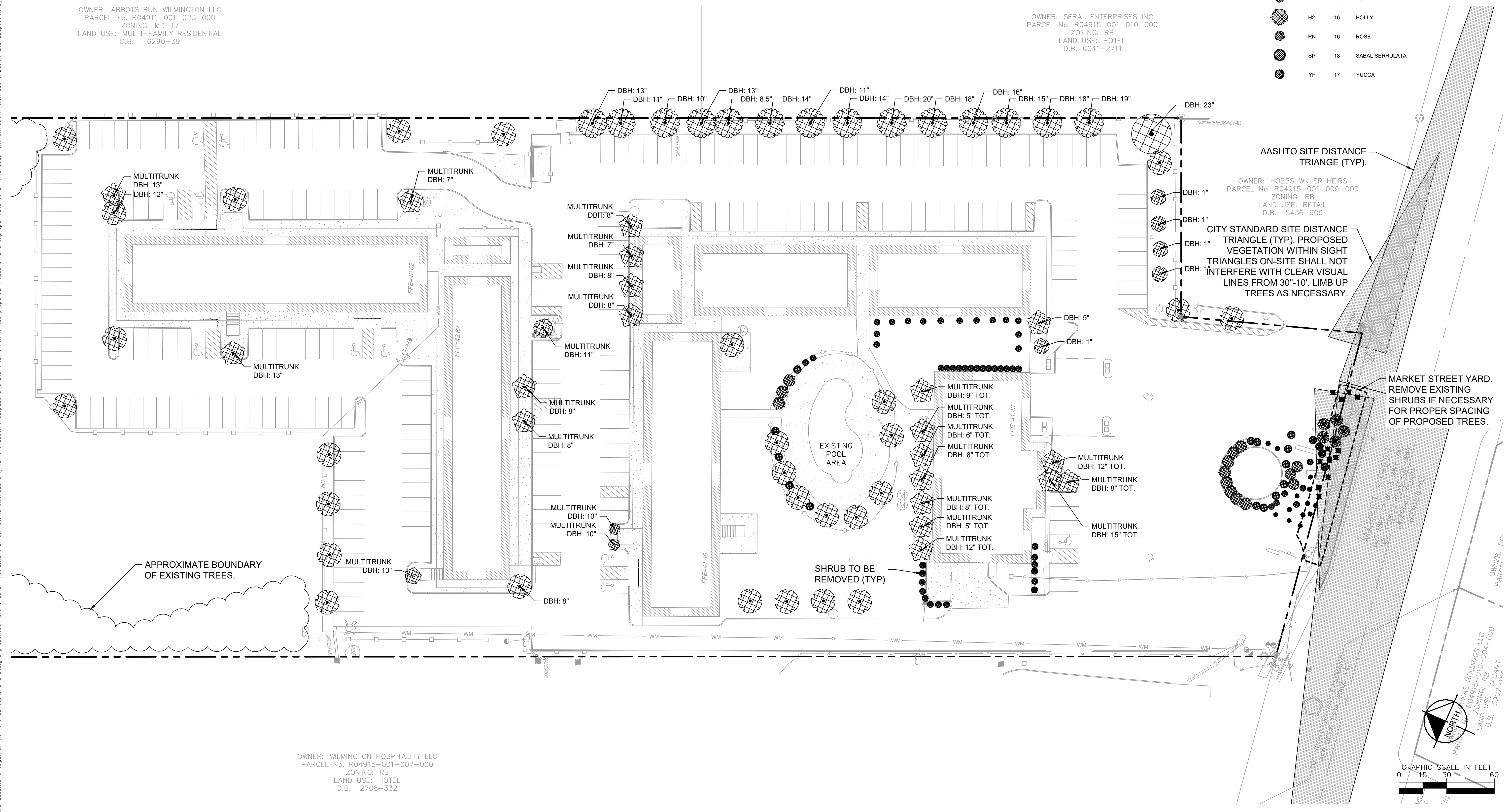
OWNER: SERAJ ENTERPRISES INC
 PARCEL No. R04915-001-010-000
 ZONING: RB
 LAND USE: HOTEL
 D.B. 6041-2711

PLANT SCHEDULE EXISTING

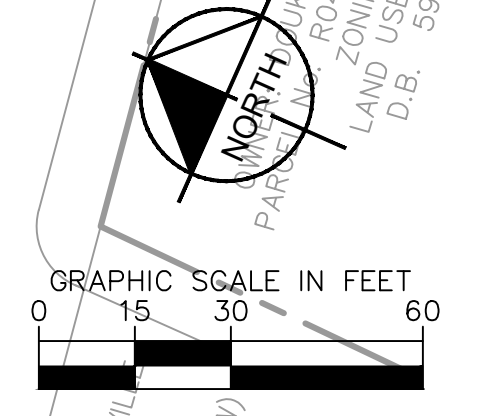
TREES	CODE	QTY	COMMON NAME
	EX4	1	EXISTING MAGNOLIA
	EX2	14	EXISTING LOBLOBBY PINE
	EX3	20	EXISTING CRAPE MYRTLE
	EX1	1	EXISTING SYCAMORE
	EX5	28	EXISTING PALM
	EX6	5	EXISTING CHERRY
	EX7	1	EXISTING RHODODENDRON
	EX8	2	EXISTING POPLAR

SHRUBS	CODE	QTY	COMMON NAME
	XS	9	SHRUB
	SS	3	SHRUB
	FE	5	FERN
	IH	28	HOLLY
	H2	16	HOLLY
	RN	16	ROSE
	SP	18	SABAL SERRULATA
	YF	17	YUCCA

- NOTES:**
- ALL PLANT MATERIAL TO BE REMOVED IS DISEASED, DEAD OR DAMAGED UNLESS OTHERWISE NOTED
 - ALL EXISTING LANDSCAPE LOCATIONS ARE APPROXIMATE.
 - ALL AREAS WITH PROPOSED LANDSCAPE MATERIAL SHALL RECEIVE A MINIMUM THREE (3) INCHES OF SHREDDED HARDWOOD MULCH. SEE LANDSCAPE DETAILS FOR TYPICAL MULCH AREA DIMENSIONS. SEE SPECIFICATIONS FOR MORE INFORMATION.
 - ALL DISTURBED AREAS SHALL BE SEEDED PER EROSION CONTROL PLANS. SEE SPECIFICATIONS FOR MORE INFORMATION.
 - ALL PROPOSED VEGETATION WITHIN SITE TRIANGLES ON-SITE SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.



OWNER: WILMINGTON HOSPITALITY LLC
 PARCEL No. R04915-001-007-000
 ZONING: RB
 LAND USE: HOTEL
 D.B. 2708-332



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EXISTING LANDSCAPE PLAN

VVO HOTEL CONVERSION WILMINGTON
 PREPARED FOR
VVO INVESTMENT GROUP
 4903 MARKET STREET WILMINGTON, NC

SHEET NUMBER
L-050

Plotted By: Spraker, Spencer. Sheet: VVO HOTEL CONVERSION, WILMINGTON. Layout: L-100 LANDSCAPE PLAN. March 17, 2022. 03:23:28pm. K:\VRB-LDEV\147844001 - VVO Wilmington Hotel Conversion\CAD\PlanSheets\L-100 Landscape Plan.dwg
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PLANT SCHEDULE

PROPOSED TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	METHOD	CAL
	CE	4	EASTERN REDBUD	CERCIS CANADENSIS	F.G., B & B	2" MIN CAL.
	CK	6	KOUSSA DOGWOOD	CORNUS KOUSA	F.G., B & B	2" MIN CAL.
	NS	6	TUPELO	NYSSA SYLVATICA	F.G., B & B	2" MIN CAL.
PROPOSED SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER	SIZE
	FM	50	MOUNTAIN WITCHALDER	FOTHERGILLA MAJOR	3 GAL.	
	IW	52	WINTERBERRY	ILEX VERTICILLATA	3 GAL.	
	RS	46	SWEET AZALEA	RHODODENDRON ARBORESCENS	3 GAL.	
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER	SIZE
	MM	8,064 SF	MULCH	TRIPLE SHREDDED HARDWOOD MULCH	MULCH	

PLANT SCHEDULE EXISTING

TREES	CODE	QTY	COMMON NAME
	EX4	1	EXISTING MAGNOLIA
	EX2	14	EXISTING LOBLOLLY PINE
	EX3	20	EXISTING CRAPE MYRTLE
	EX1	1	EXISTING SYCAMORE
	EX5	28	EXISTING PALM
	EX6	5	EXISTING CHERRY
	EX7	1	EXISTING RHODODENDRON
	EX8	2	EXISTING POPLAR
SHRUBS	CODE	QTY	COMMON NAME
	XS	9	SHRUB
	SS	3	SHRUB
	FE	5	FERN
	IH	28	HOLLY
	H2	16	HOLLY

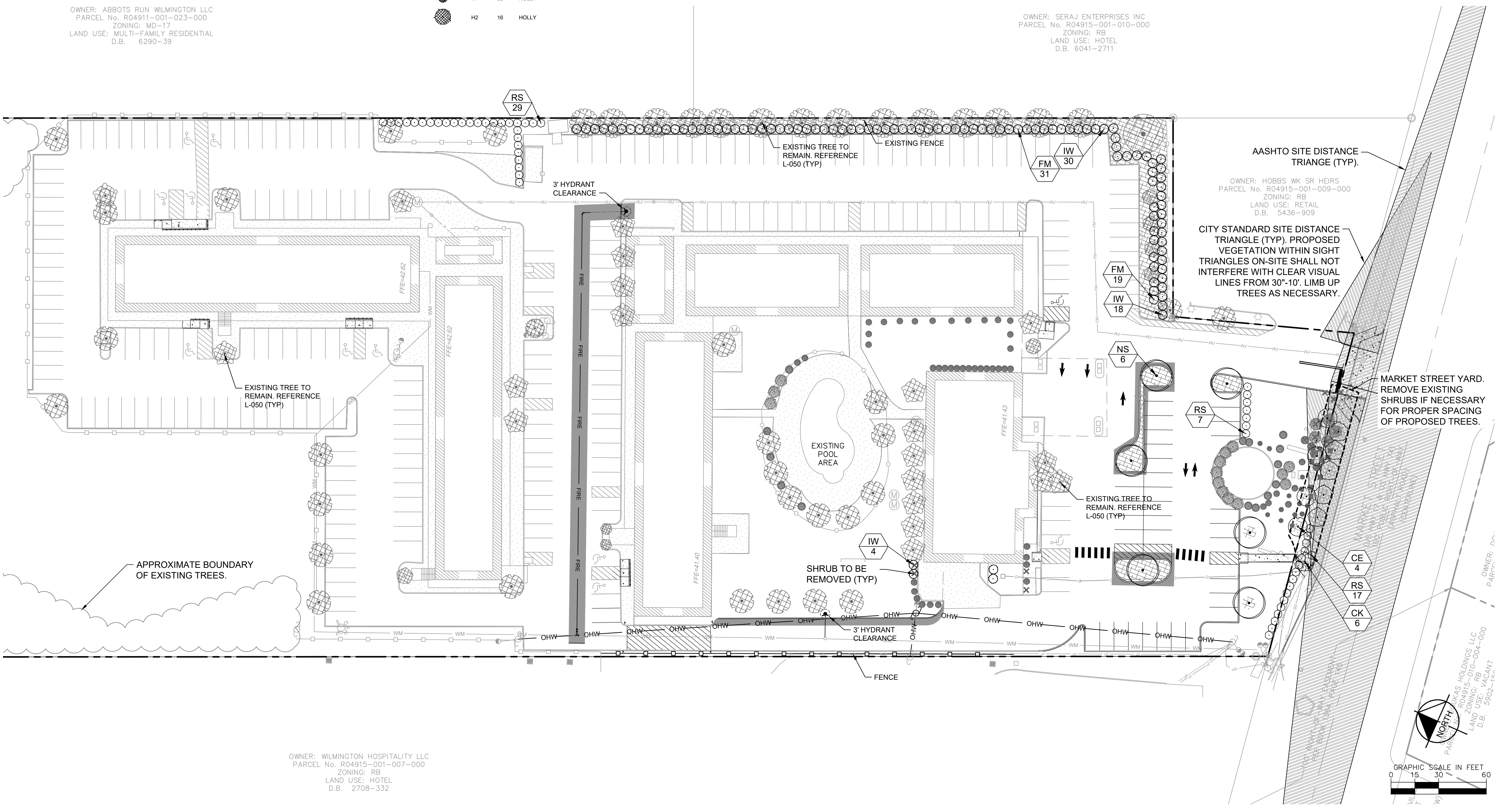
LANDSCAPE REQUIREMENTS

BUFFER REQUIREMENTS (per zoning code section 18-496)		
	Required	Provided
Width	At least 50% of required setback = 10 ft; at least 20 ft	Existing trees and fence to
Height	100% opacity from ground to 6 ft high	remain. Buffer has been
Shrubs	At least 3 ft high at planting	supplemented with
Trees	1 tree per 30 lf of screen	shrubs where possible.
PARKING LANDSCAPE REQUIREMENTS (per zoning code sec. 18-481)		
	Required	Provided
Interior Islands	Up to 15% may be used for walkways	provided
	No parking space more than 120 ft from island	provided
	Single planting island must have at least 1 tree	provided
STREET YARD REQUIREMENTS (per zoning code sec. 18-477)		
Market Street Yard (1946 sq. ft)	Required	Provided
Width	18' minimum	18'
Understory Trees	3 trees per 600 sf = 10 trees	10 trees
Shrubs	6 shrubs (12 in height) per 600 sq ft = 20 shrubs	15 shrubs existing 5 shrubs proposed

- NOTES:
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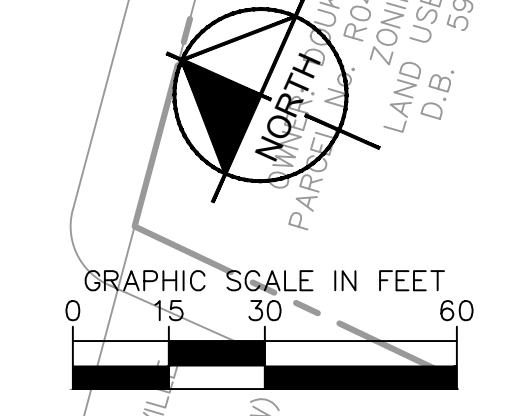
OWNER: ABBOTS RUN WILMINGTON LLC
 PARCEL No. R04911-001-023-000
 ZONING: MD-17
 LAND USE: MULTI-FAMILY RESIDENTIAL
 D.B. 6290-39

OWNER: SERAJ ENTERPRISES INC
 PARCEL No. R04915-001-010-000
 ZONING: RB
 LAND USE: HOTEL
 D.B. 6041-2711



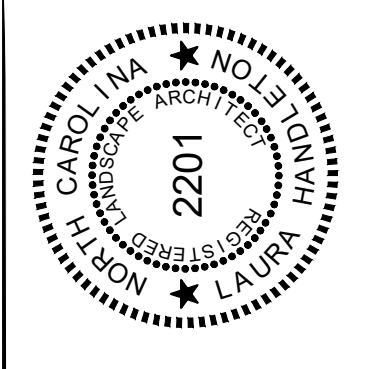
OWNER: WILMINGTON HOSPITALITY LLC
 PARCEL No. R04915-001-007-000
 ZONING: RB
 LAND USE: HOTEL
 D.B. 2708-332

OWNER: HOBBS WK SR HEIRS
 PARCEL No. R04915-001-009-000
 ZONING: RB
 LAND USE: RETAIL
 D.B. 5436-909



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KHA PROJECT	147844001
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DRAWN BY	SRS
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LANDSCAPE PLAN

VVO HOTEL CONVERSION
 WILMINGTON
 PREPARED FOR
 VVO INVESTMENT GROUP

4903 MARKET STREET WILMINGTON, NC

SHEET NUMBER
L-100

